

REVISIONS		
No.	Date	Description

- SITE INVENTORY NOTES:**
- PREPARER OF THE PLAN: TRIPP ENGINEERING, P.C.
  - APPLICANT NAME: GPT INVESTMENTS, LLC
  - SITE ADDRESS OF THE DEVELOPMENT: 6753 AND 6757 MARKET ST.
  - PROPERTY OWNER: GPT INVESTMENTS, LLC
  - DEVELOPER: GPT INVESTMENTS, LLC
  - PROPERTY BOUNDARY: SEE PLAN  
TAX PARCEL INFORMATION: R04320-001-006-000  
R04320-001-006-000
  - PROPERTY ZONING: RB-REGIONAL BUSINESS
  - ADJACENT PROPERTY OWNER INFORMATION: SEE PLAN
  - VICINITY MAP: SEE PLAN
  - TOPOGRAPHY: SEE PLAN
  - 100-YEAR FLOOD BOUNDARY: N/A
  - EXISTING DITCHES, CREEKS AND STREAMS: SEE PLAN
  - SOIL: L<sub>2</sub>; LEON SAND
  - CAMA AEC: N/A
  - CAMA LAND CLASSIFICATION: URBAN
  - CONSERVATION RESOURCES: NONE  
ASSOCIATED SETBACKS: N/A
  - HISTORIC OR ARCHAEOLOGICAL SITE: N/A
  - CEMETERIES, BURIAL SITES/GROUNDS: N/A
  - FORESTED AREAS, HABITAT AND DOMINANT SPECIES: N/A
  - WETLANDS: SEE PLAN
  - PROTECTED SPECIES OR HABITAT: N/A
  - EXISTING OR PROPOSED THROUGHFARES, BIKE ROUTES, PEDESTRIAN SIDEWALKS OR TRAILS AND TRANSIT FACILITIES: SEE SITE PLAN

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

Approved Construction Plan	
Name	Date
Planning <i>W. Smith</i>	01/07/19
Traffic <i>W. Smith</i>	1-10-19
Fire <i>W. Smith</i>	1/10/19

**CITY OF WILMINGTON**  
NORTH CAROLINA  
Public Services • Engineering Division  
APPROVED STORMWATER MANAGEMENT PLAN  
Date: 1/9/19 Permit #2018055  
Signed: *E. See*

**LEGEND**

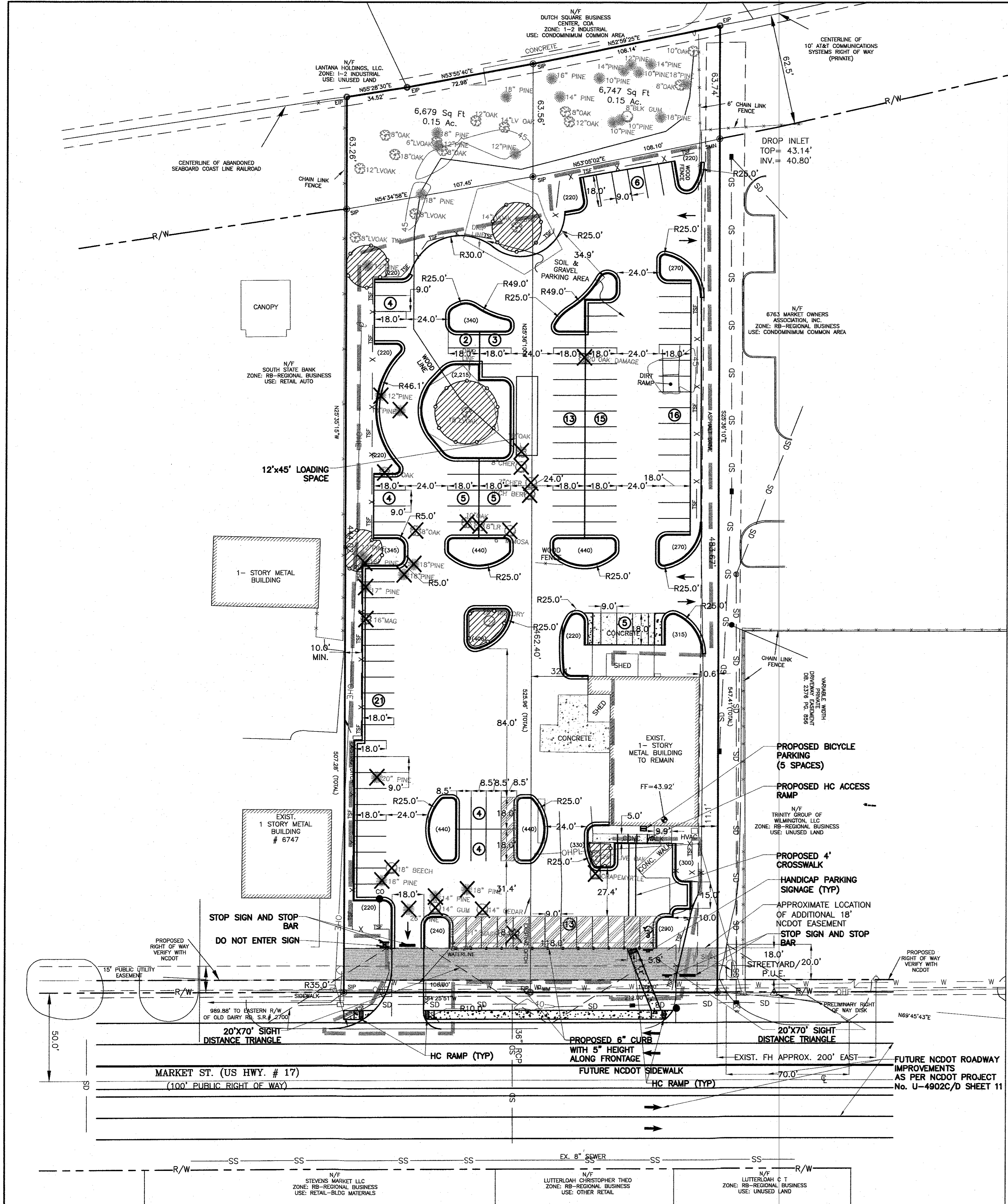
- 43.80 EXISTING SPOT ELEVATION
- - - 42 - - - EXISTING CONTOUR
- [Hatched Box] DEMO/TO BE REMOVED

**SITE PLAN**  
BAR SCALE 1"=30'

**SITE INVENTORY**  
**TRIPP ENGINEERING, P.C.**  
419 Chestnut Street  
Wilmington, North Carolina 28401  
Phone 910-763-5100  
Fax 910-763-5631  
© 2018 TRIPP ENGINEERING, P.C.

**TRIPP ENGINEERING, P.C.**  
17374  
17041

DATE 12-06-18  
DESIGN PGT  
DRAWN EJW



**INVENTORY OF TREES TO BE REMOVED**

TREE TYPE	TREE SIZE	QUANTITY
PINE	12"	1
PINE	14"	2
PINE	16"	2
PINE	17"	1
PINE	18"	3
PINE	20"	1
PINE	26"	1
OAK	8"	2
OAK	10"	3
OAK	20"	1
MAGNOLIA	11"	1
MAGNOLIA	16"	1
CHERRY	7"	1
CHERRY	8"	2
MIMOSA	6"	1
BEECH	18"	1
GUM	14"	1
CEDAR	14"	1

**NOTES:**

**ZONING**

- 1) TOPOGRAPHY AND TREE SURVEY COMPLETED BY MARK A. STOCKS, PLS.
- 2) PERMITTING OF BUSINESS IDENTIFICATION SIGNAGE IS A SEPARATE PROCESS. CITY OF WILMINGTON WILL NOT ALLOW OBSTRUCTIONS WITHIN THE RIGHT-OF-WAY.
- 3) CONTRACTOR SHALL FIELD VERIFY SIZE, MATERIAL, INVERTS AND LOCATION OF ALL EXISTING UTILITIES PRIOR TO INSTALLATION OF PROPOSED CONNECTIONS.
- 4) EXISTING EASEMENTS AS SHOWN
- 5) CONTRACTOR SHALL MAINTAIN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
- 6) NO WETLANDS EXIST ON SITE.

**SOLID WASTE**

- 1) SITE TO USE ROLL-OUT TYPE CARTS.

**TRAFFIC**

- 1) ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
- 2) ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
- 3) CONTACT TRAFFIC ENGINEERING AT 341-7888 TO ENSURE THAT ALL TRAFFIC SIGNALS FACILITIES AND EQUIPMENT ARE SHOWN ON THE PLAN.
- 4) CALL TRAFFIC ENGINEERING AT 341-7888 FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT-OF-WAY.
- 5) ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.
- 6) CONTACT TRAFFIC ENGINEERING AT 741-7888 TO DISCUSS STREET LIGHTING OPTIONS.
- 7) ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
- 8) NO ROWS TO BE CLOSED.
- 9) NO STREETS PROPOSED.
- 10) NO OFF SITE PARKING PROPOSED.
- 11) DRIVEWAY IS PROPOSED.
- 12) TRAFFIC ENGINEERING MUST APPROVE OF PAVEMENT MARKING PRIOR TO ACTUAL STRIPING.
- 13) ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING LOT SHALL BE WHITE.
- 14) STOP SIGNS AND STREET SIGNS TO REMAIN IN PLACE DURING CONSTRUCTION.
- 15) TACTILE WARNING MATS WILL BE INSTALLED ON ALL WHEELCHAIR RAMP.
- 16) A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. CONTACT 341-8988 FOR MORE DETAILS. IN CERTAIN CASES AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
- 17) A LANDSCAPING PLAN INDICATING THE LOCATION OF REQUIRED STREET TREES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON TRAFFIC ENGINEERING DIVISION AND PARKS AND RECREATION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO THE RECORDING OF THE FINAL PLAN. (SD 15-14 CON TECH STDS)

**LANDSCAPING**

- 1) PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES AND NO CONSTRUCTION WORKERS, TOOLS, MATERIALS OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
- 2) ANY TREES AND/OR AREAS DESIGNATED TO BE PROTECTED MUST BE PROPERLY BARRICADED WITH FENCING AND PROTECTED THROUGHOUT CONSTRUCTION TO INSURE THAT NO CLEARING, GRADING OR STAGING OF MATERIALS WILL OCCUR IN THOSE AREAS.
- 3) NO EQUIPMENT IS ALLOWED ON SITE UNTIL ALL TREE PROTECTION FENCING AND SILT FENCING IS INSTALLED AND APPROVED. PROTECTIVE FENCING IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT AND CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTIONS ON TREE PROTECTION METHODS.
- 4) ALL PROPOSED VEGETATION WITHIN SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30'-10'.

**CEQA**

- 1) SITE TO UTILIZE EXISTING UTILITIES.

**DRAINAGE**

- 1) SITE TO DRAIN TO AN ONSITE INFILTRATION SYSTEM UNDER THE PARKING LOT.

**FIRE AND LIFE SAFETY NOTES**

- 1) ADDITIONAL FIRE PROTECTION AND ACCESSIBILITY REQUIREMENTS MAY BE REQUIRED DUE TO ANY SPECIAL CIRCUMSTANCES CONCERNING THE PROJECT.

**SITE DATA:**

PROPERTY OWNER(S)	GPT INVESTMENTS, LLC 140 KING ARTHUR DR. WILMINGTON, NC 28403
EMAIL ADDRESS	GARTLON333@GMAIL.COM
PROJECT ADDRESS(ES)	6747 MARKET ST. 6757 MARKET ST.
PIN NUMBER(S)	R04320-001-006-000 R04320-001-007-000
AREA NOT IN A FEMA 100-YEAR FLOOD ZONE	
ZONING DISTRICT	RB-REGIONAL BUSINESS
DISTURBED AREA	2 AC.
SETBACKS REQUIRED	FRONT: 25' REAR: 15' SIDE: 0' CORNER LOT SIDE: 25'
PROPOSED BUILDING SETBACKS	FRONT: 94' REAR: 360' SIDE: 10.6' CORNER LOT SIDE: N/A
TRACT AREA	111,580 SF (2.56 AC)
BUILDING USE	AUTOMOBILE DEALER
PROPOSED BUILDING AREA (GROSS)	0 SF
EXISTING BUILDING AREA (GROSS)	4,824 SF
BUILDING LOT COVERAGE (4,824/111,580)	4.3%
NUMBER OF UNITS	1
NUMBER OF BUILDINGS	1
BUILDING HEIGHT	18'
NUMBER OF STORES	1
SF PER FLOOR (GROSS)	4,824 SF
EXISTING ON-SITE IMPERVIOUS AREAS:	
EXISTING BUILDINGS	4,824 SF
EXISTING ASPHALT	10,440 SF
EXISTING CONCRETE	2,208 SF
TOTAL EXISTING IMPERVIOUS AREA	17,472 SF (15.6%)
PROPOSED ON-SITE IMPERVIOUS AREAS:	
PROPOSED BUILDING	0 SF
PROPOSED ASPHALT	56,428 SF
PROPOSED CONCRETE	132 SF
TOTAL PROPOSED IMPERVIOUS AREA	56,560 SF (50.7%)
EXISTING ON-SITE IMPERVIOUS TO BE REMOVED	-2,052 SF
EXISTING IMPERVIOUS TO REMAIN	15,420 SF
FUTURE	1,020 SF
PROPOSED-EXISTING IMPERVIOUS	73,000 SF (65.4%)
PARKING REQUIRED: (AUTOMOBILE DEALER)	4,824 SF
MAXIMUM:	15
MINIMUM: 1/500 SF (4,824/500)	10
TOTAL PARKING PROVIDED:	120
CUSTOMER/EMPLOYEE PARKING	110
INVENTORY PARKING	10
HANDICAP SPACES REQUIRED:	
(1-25 SPACES=1 HANDICAP SPACE)	10 SPACES
10 SPACES	1 SURFACE HANDICAP SPACE
CAMA LAND USE:	URBAN
PUBLIC WATER AND SEWER BY CFPWA	
EXISTING WATER FLOW:	600 GPD
EXISTING SEWER FLOW:	500 GPD
PROPOSED WATER FLOW:	300 GPD
PROPOSED SEWER FLOW:	250 GPD
BICYCLE PARKING REQUIRED (10 SPACES)	5 BICYCLE PARKS
BICYCLE PARKING PROPOSED	5 BICYCLE PARKS

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

Approved Construction Plan

Name	Date
Planning Nicole D Smith	1/10/19
Traffic W. Edwards	1/10/19
Fire C. White	1/10/19

**CITY OF WILMINGTON**  
NORTH CAROLINA  
Public Services • Engineering Division  
APPROVED STORMWATER MANAGEMENT PLAN  
Date: 1/9/19 Permit # 2018055  
Signed: E-S-20

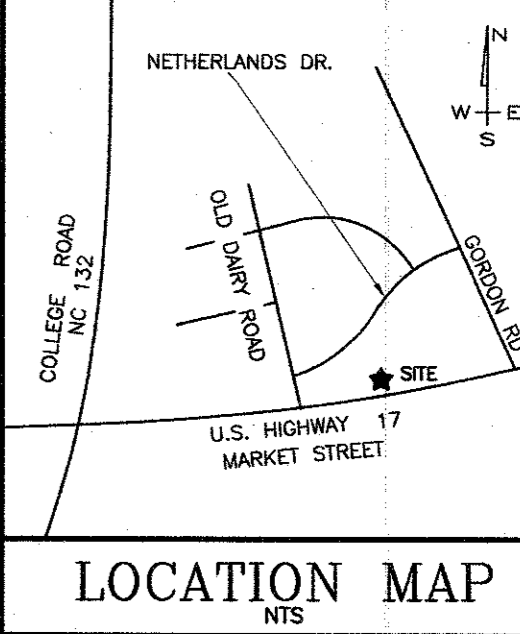
**LEGEND**

- EXISTING TREE TO BE REMOVED
- TREE PROTECTION
- EXISTING CONCRETE
- PROPOSED CONCRETE
- REQUIRED PARKING
- LIMITS OF DISTURBANCE
- TEMPORARY SILT FENCE

**SITE PLAN**  
BAR SCALE 1"=30'

**REVISIONS**

No./Date	Description	By



**TRIPP ENGINEERING, P.C.**  
419 Chestnut Street  
Wilmington, North Carolina 28401  
Phone 910-763-5100  
Fax 910-763-5631  
© 2018 TRIPP ENGINEERING, P.C.

**BLUEWATER MOTORSPORTS**  
OWNER: GPT INVESTMENTS, LLC  
ADDRESS: 6757 MARKET ST., WILMINGTON, NC

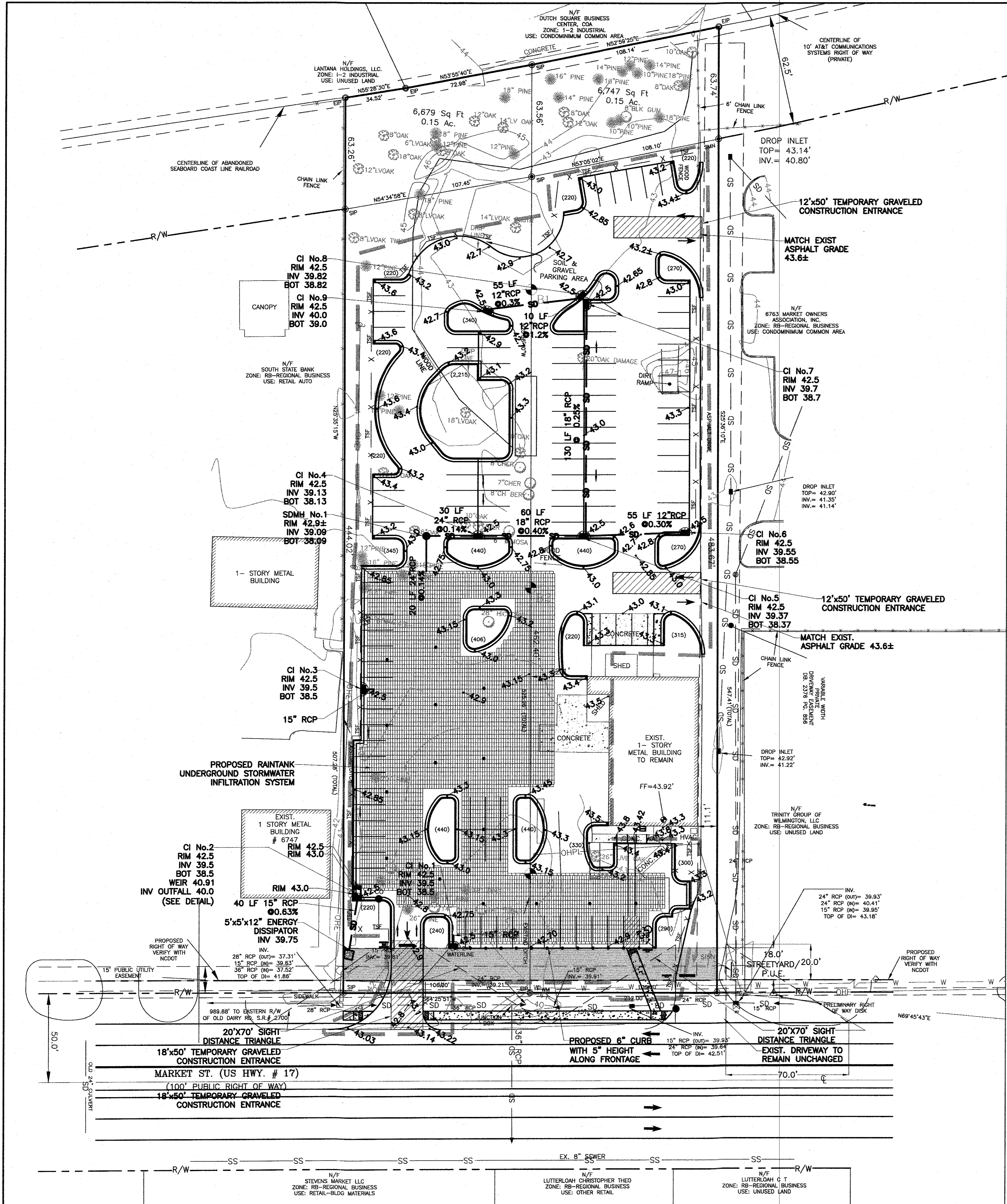
DATE 12-06-18  
DESIGN PGT  
DRAWN EJW

**C2**  
SHEET 2 OF 6  
17041

**REVISIONS**

No.	Date	Description	By

**LOCATION MAP**



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TOTAL EXISTING IMPERVIOUS AREA	17,472 SF (15.6%)
PROPOSED ON-SITE IMPERVIOUS AREAS:	
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PROPOSED ASPHALT	132 SF
PROPOSED CONCRETE	50 SF
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**Approved Construction Plan**

Name	Date
Planning <i>W. Smith</i>	11/19/19
Traffic <i>W. Smith</i>	1/10/19
Fire <i>C. White</i>	1/10/19

**CITY OF WILMINGTON**  
NORTH CAROLINA

Public Services • Engineering Division

APPROVED STORMWATER MANAGEMENT PLAN

Date: 1/9/19 Permit #2018055

Signed: *S. S. O.*

**LEGEND**

- 43.80 EXISTING SPOT ELEVATION
- 49.5 PROPOSED SPOT ELEVATION
- 42 EXISTING CONTOUR
- SD PROPOSED STORMWATER
- X-TSF PROPOSED SILT FENCE
- LIMITS OF DISTURBANCE
- PROPOSED RAIN TANKS
- EXISTING CONCRETE
- PROPOSED CONCRETE

**SITE PLAN**

BAR SCALE 1"=30'

**TRIPP ENGINEERING, P.C.**  
419 Chestnut Street  
Wilmington, North Carolina 28401  
Phone 910-763-5100  
Fax 910-763-5631  
© LICENSE NO. 12-6-18

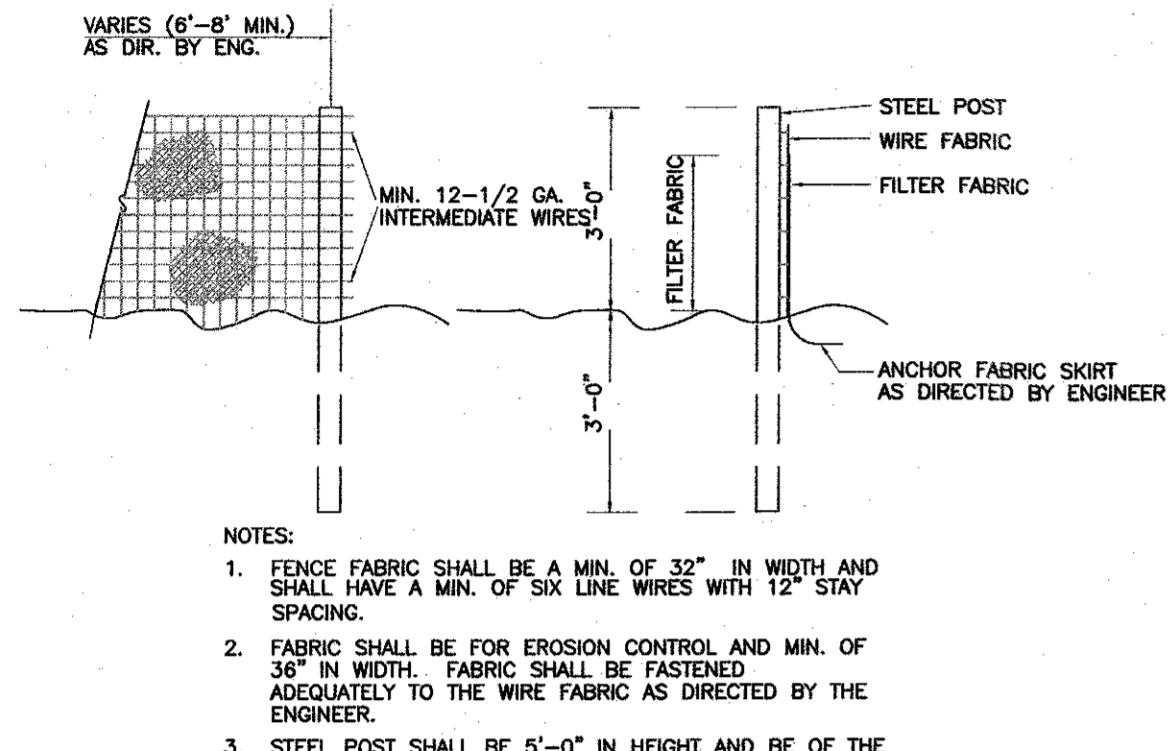
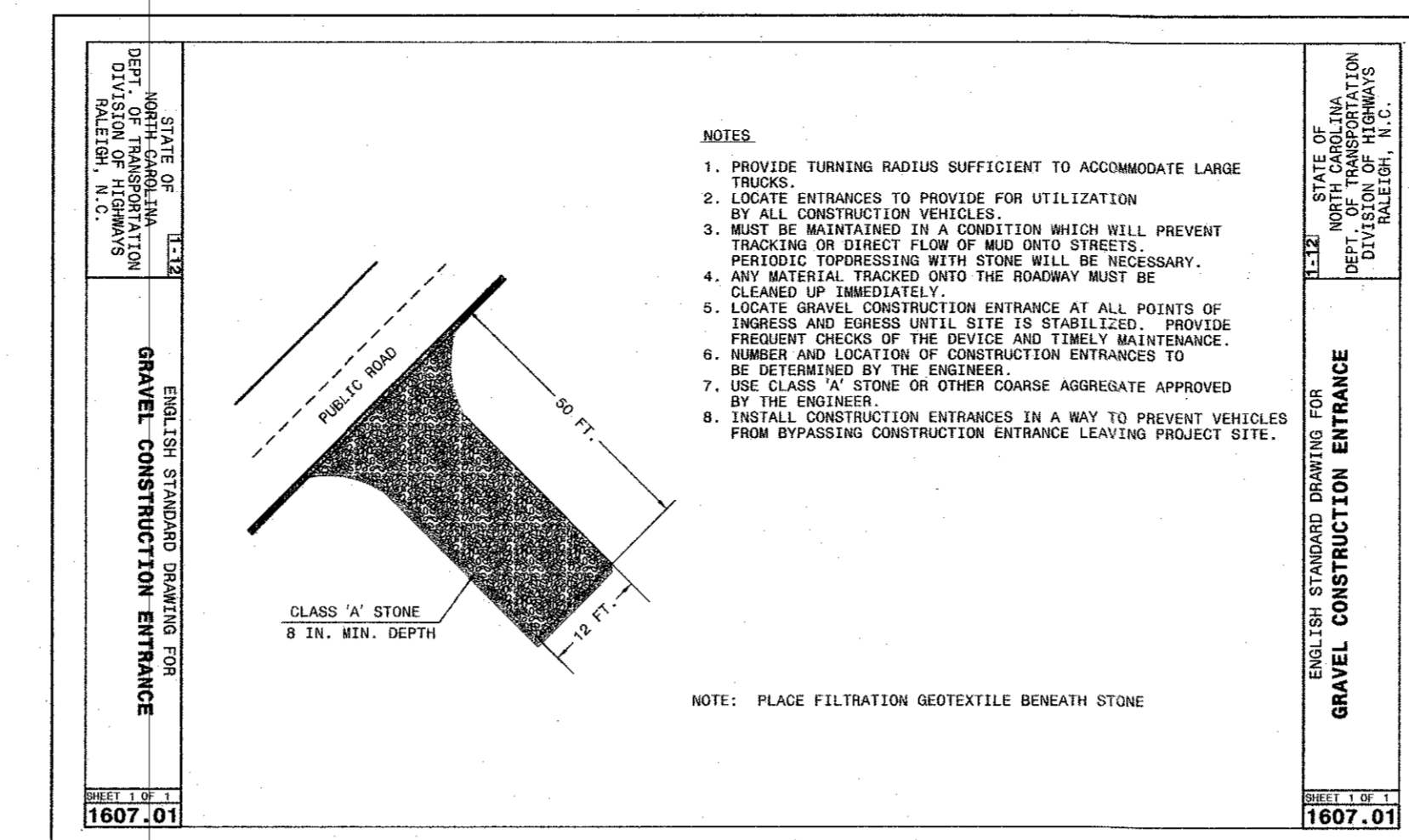
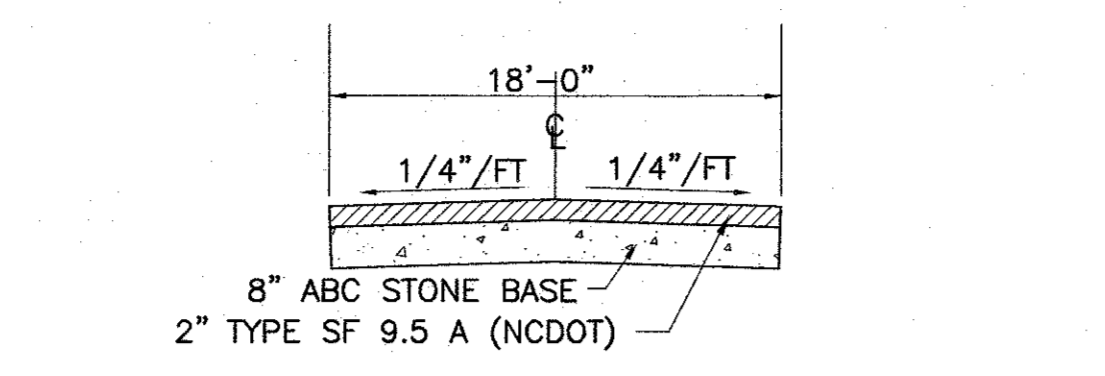
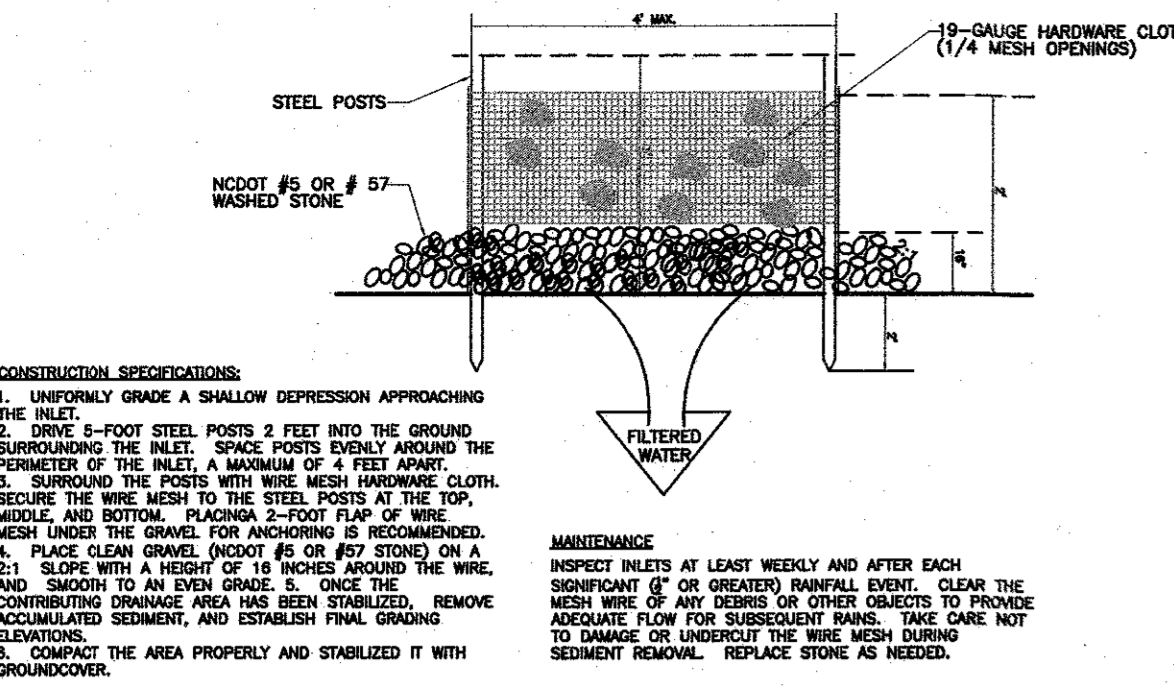
**GRADING, DRAINAGE, EROSION CONTROL AND STORMWATER MANAGEMENT**

**BLUEWATER MOTORSPORTS**  
OWNER: GPT INVESTMENTS, LLC  
ADDRESS: 6753-6757 MARKET ST., WILMINGTON, NC

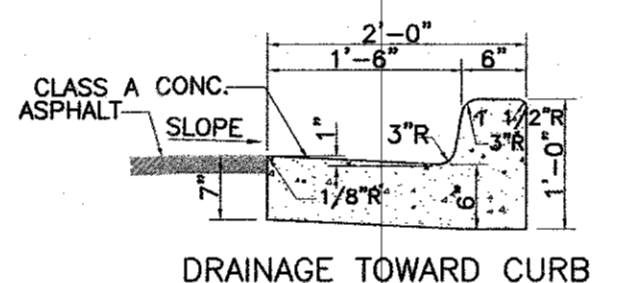
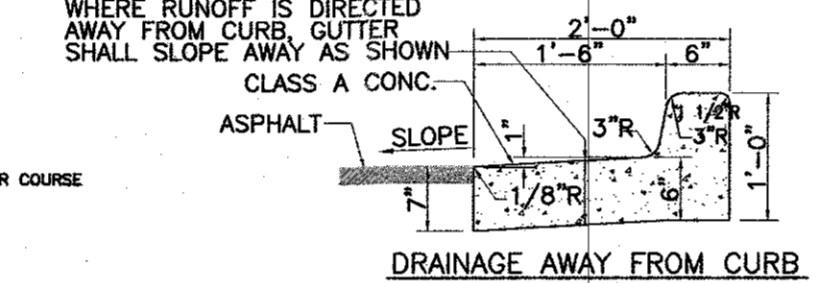
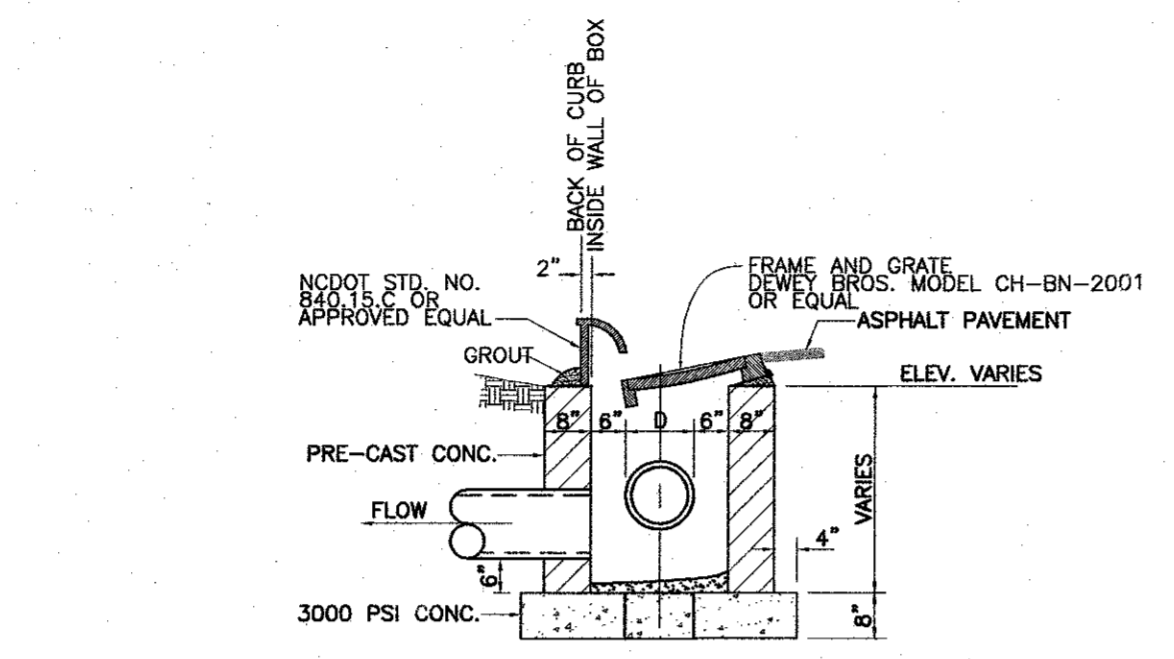
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DRAWN EJW

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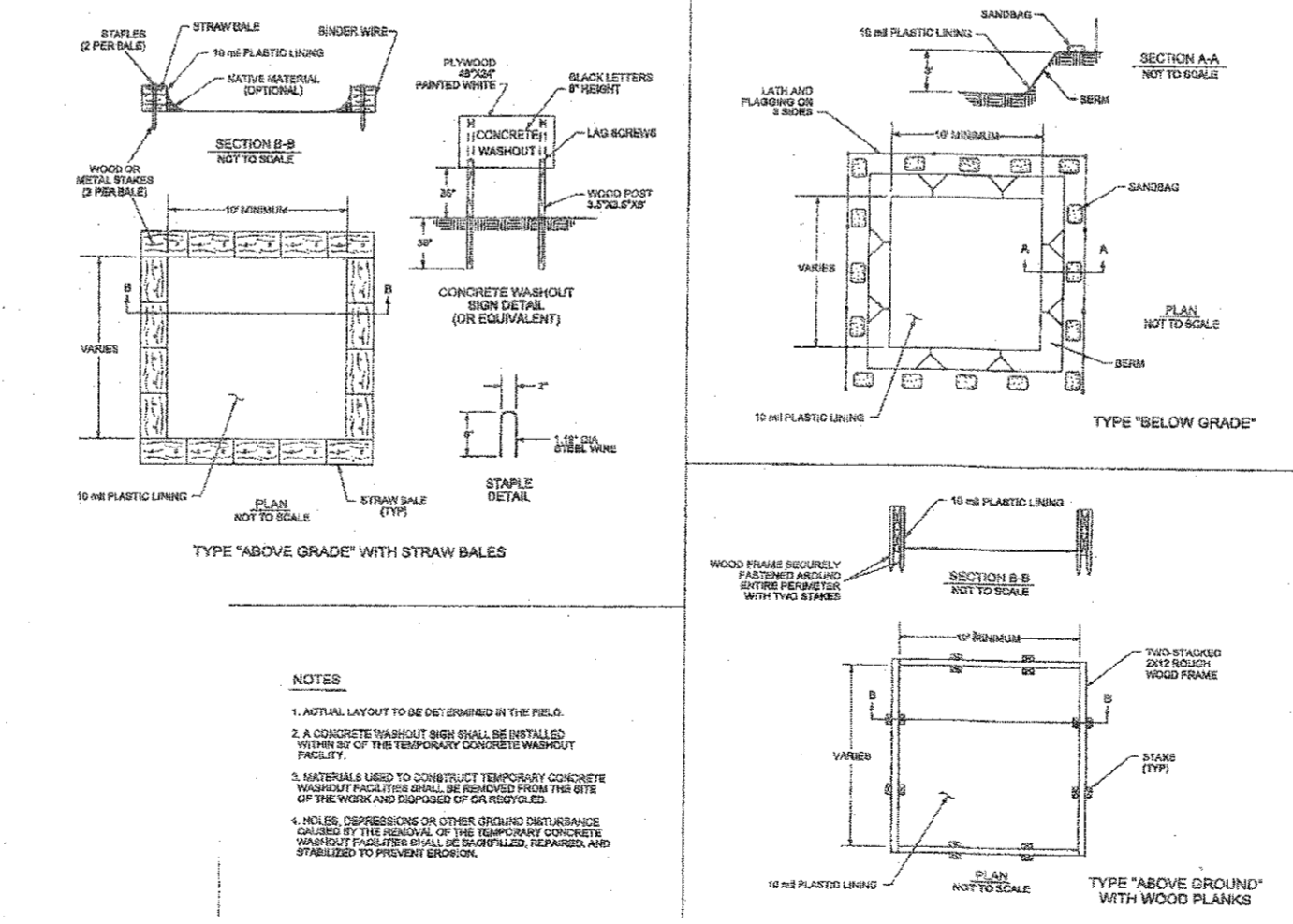
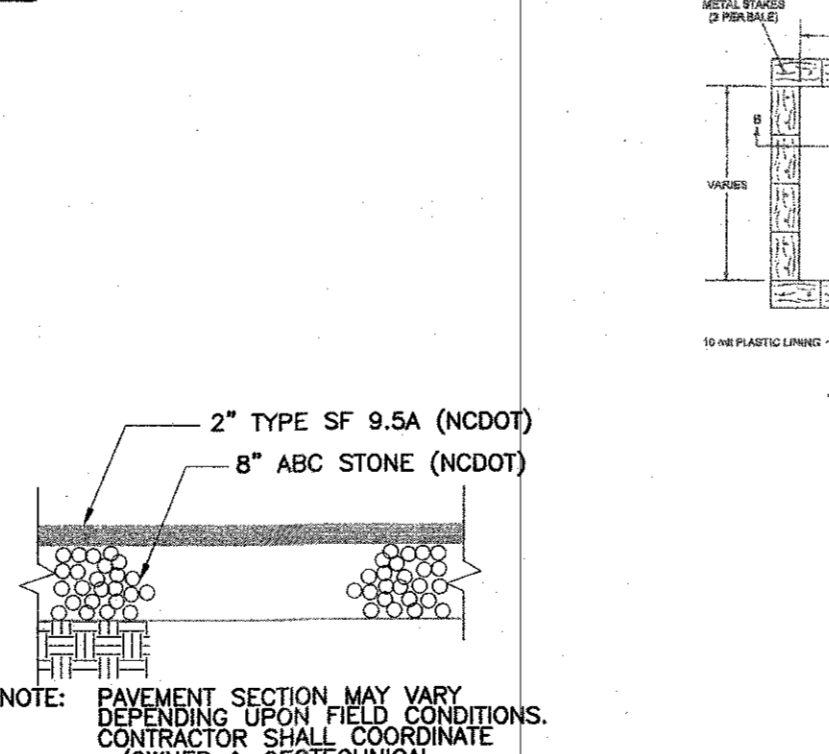
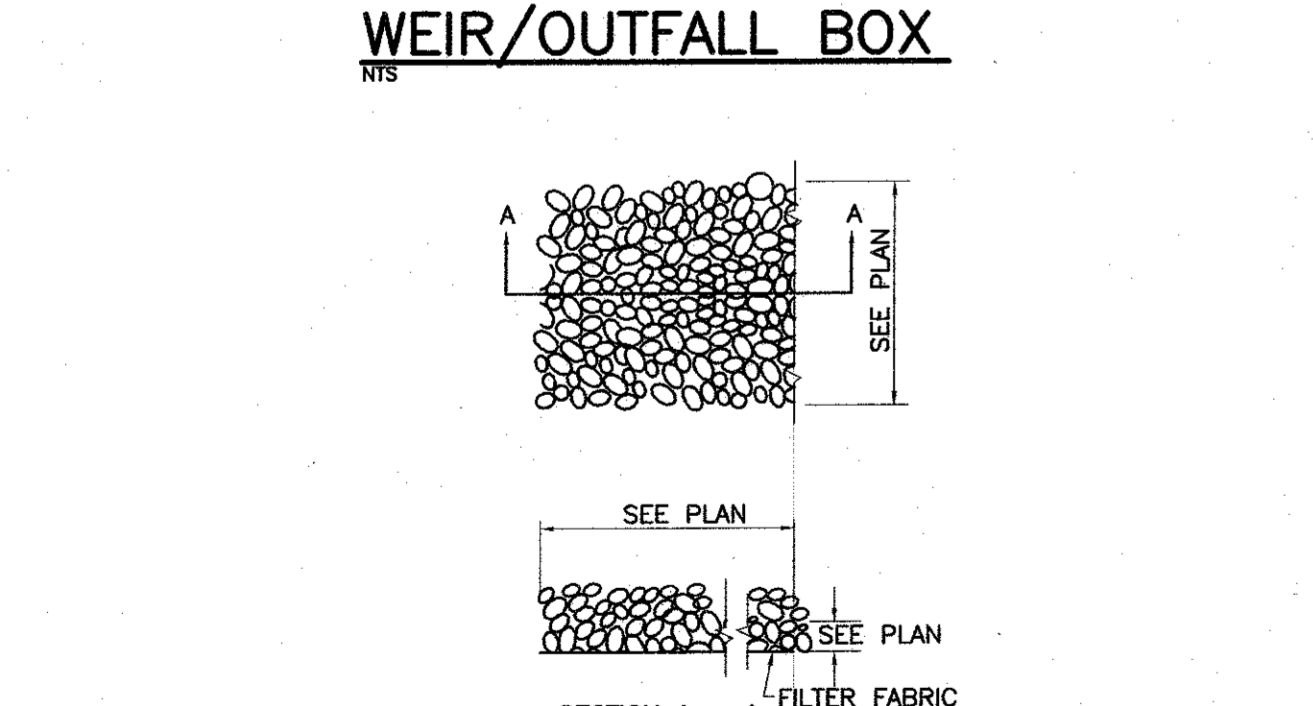
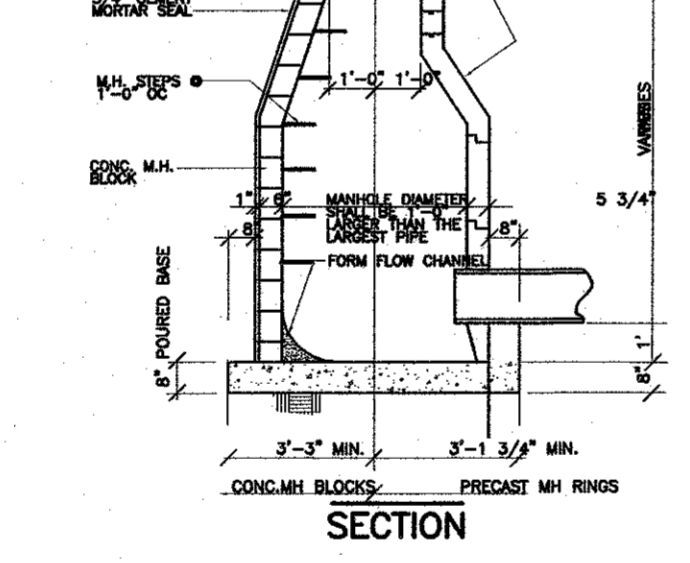
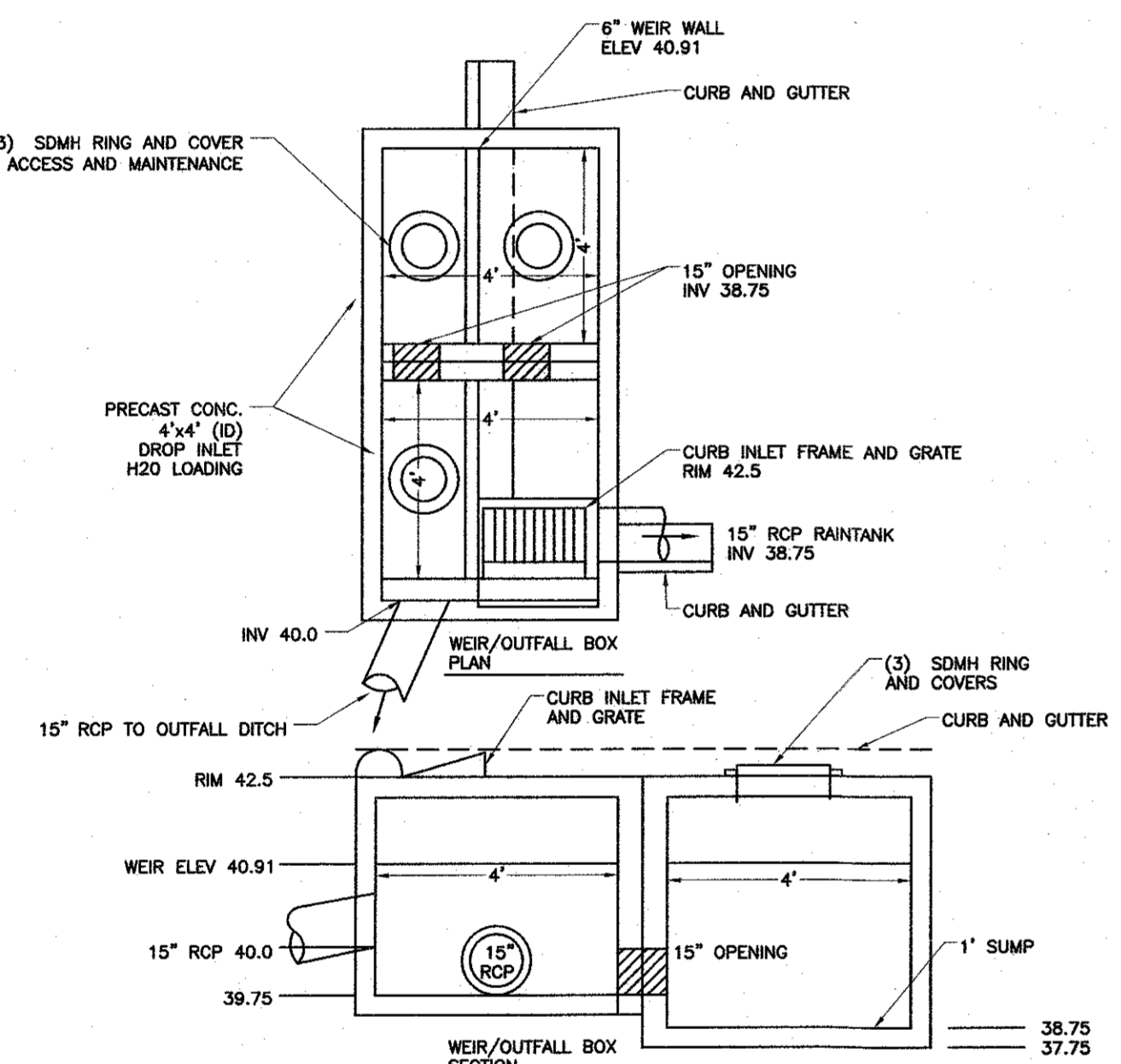
SHEET 3 OF 6  
17041



**TEMPORARY SILT FENCE**  
NTS



**CURB SECTION**  
NTS



**NPDES GROUND STABILIZATION CRITERIA**

SITE AREA DESCRIPTION	STABILIZATION TIMEFRAME	STABILIZATION TIMEFRAME EXCEPTIONS
PERIMETER DIKES, SWALES, DITCHES AND SLOPES	7 DAYS	NONE
HIGH QUALITY WATER (HOW) ZONES	7 DAYS	NONE
SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 10' OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED FOR SLOPES GREATER THAN 30 FEET IN LENGTH
SLOPES 3:1 OR FLATTER	14 DAYS	NONE (EXCEPT FOR PERIMETERS AND HOW ZONES)
ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE (EXCEPT FOR PERIMETERS AND HOW ZONES)

**TEMPORARY SEEDING SPECIFICATION**

SEEDING MIXTURE	RATE (lb./acre)
LATE WINTER & EARLY SPRING	120
SUMMER	50
FALL	40
LATE WINTER & EARLY SPRING	40
SUMMER	40
FALL	40

**SITE WORK NOTES**

- THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIARIZED WITH EXISTING CONDITIONS BOTH ON AND IMMEDIATELY ADJACENT TO THE SITE.
- CLEARING: CONTRACTOR SHALL REMOVE ALL TREES AND VEGETATION WITHIN LIMITS OF CONSTRUCTION UNLESS OTHERWISE DESIGNATED TO REMAIN.
- GRUBBING AND STRIPPING: CONTRACTOR SHALL RAKE AND REMOVE ROOTS, STUMPS, VEGETATION, DEBRIS, EXISTING STRUCTURES ABOVE AND BELOW GRADE, ORGANIC MATERIAL OR ANY OTHER UNSUITABLE MATERIAL WITHIN LIMITS OF CONSTRUCTION.
- MUCKING: CONTRACTOR SHALL COORDINATE WITH OWNER AND THEIR GEOTECHNICAL REPRESENTATIVE TO COORDINATE REMOVAL OF ANY SOFT AREAS.
- DISPOSAL: CLEARED, GRUBBED, STRIPPED OR OTHER WASTE MATERIAL SHALL BE REMOVED FROM SITE AND DISPOSED OF IN A PROPERLY PERMITTED FACILITY.
- FILL AND COMPACTION SHOULD COMPLY WITH GEOTECHNICAL REPORT.
- THE CONTRACTOR SHALL NOTE THAT THE GRADING PLAN MAY NOT REPRESENT A BALANCED EARTHWORK CONDITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CUT AND FILL QUANTITIES AND COMPLETE INSTALLATION TO SPECIFIED GRADES.
- THE CONTRACTOR SHALL FURNISH SUITABLE BORROW MATERIAL FROM AN OFF-SITE, PROPERLY PERMITTED FACILITY AS REQUIRED.
- THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION. BEFORE COMMENCING ANY EXCAVATIONS IN OR ALONG ROADWAYS OR RIGHT-OF-WAYS, PUBLIC AREAS OR IN PRIVATE EASEMENTS, THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE PERSONNEL OF THEIR INTENT TO EXCAVATE, IN WRITING, NOT LESS THAN 10 DAYS PRIOR TO EXCAVATING.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE DISCONNECTION/RECONNECTION AND/OR THE RELOCATION OF ALL EXISTING UTILITIES WITH APPROPRIATE PERSONNEL.
- EXISTING SURVEYING PERFORMED BY MARK A. STOCKS, PLS AND SUPPLIED BY THE OWNER.
- THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AT THE SITE. FURTHERMORE THE CONTRACTOR SHALL REPORT ALL DISCREPANCIES OR QUESTIONS TO THE ENGINEER PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL PROVIDE ANY AND ALL LAYOUT REQUIRED TO CONSTRUCT HIS WORK UNLESS OTHERWISE DIRECTED BY OWNER.
- ALL PVC UTILITY MAINS SHALL BE INSTALLED WITH A MINIMUM OF 36" COVER AT FINAL GRADE.
- ALL SERVICE CONNECTIONS SHALL BE INSTALLED TO MEET ALL LOCAL AND STATE METERS, METERS, WORKMANSHIP AND ALL FEES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL COMPLY WITH ALL REQUIREMENTS.
- ALL PAVEMENT, BASE AND SUBGRADE SHALL CONFORM TO NCDOT STANDARDS INCLUDING WORKMANSHIP, MATERIALS AND EQUIPMENT. APPROPRIATE BARRICADES, SIGNS, LIGHTS OR OTHER TRAFFIC CONTROL DEVICES SHALL BE PROVIDED IN ACCORDANCE WITH NCDOT TO MAINTAIN SAFETY AND TWO WAY TRAFFIC.
- ALL AREAS SHALL BE GRADED FOR POSITIVE DRAINAGE. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO INSTALLATION. ALL AREAS SHALL BE SLOPED TO DRAIN AWAY FROM BUILDINGS AT ALL TIMES.
- CONCRETE STORM DRAINAGE PIPE SHALL BE CLASS III WITH RUBBER GASKETED JOINTS AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS.
- USE WHITE LANE MARKING PAINT FOR ALL PAVEMENT MARKINGS. PAINT SHALL BE A CHLORINATED RUBBER ALKYL, PS I-1.5, TYPE III, FACTORY MIXED, QUICK DRYING, NON BLEEDING, REFLECTIVE MATERIAL MAY BE ADDED AT OWNER'S OPTION FOR NIGHT REFLECTING.
- DUCTILE IRON SHALL BE CLASS 30.
- CONCRETE CURBS, CULVERTS AND DRIVES SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS - AIR ENTRAINED.
- FIELD TESTING SHALL BE DONE BY AN INDEPENDENT TESTING LABORATORY PAID FOR BY THE OWNER. FURTHER TESTING REQUIRED DUE TO A FAILED TEST WILL BE PAID FOR BY THE CONTRACTOR.
- USE GEOTECHNICAL REPORT NO. \_\_\_\_\_, DATED \_\_\_\_\_, BY \_\_\_\_\_ FOR ADDITIONAL REQUIREMENTS.

**SEEDING NOTES**

APPLY 4000 LB/ACRE STRAW, ANCHOR STRAW BY TACKLING WITH ASPHALT, NETTING, OR A MULCH ANCHORING TOOL. MULCH WITH BLACKS SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

**MULCH**

APPLY 4000 LB/ACRE STRAW. ANCHOR STRAW BY TACKLING WITH ASPHALT, NETTING, OR A MULCH ANCHORING TOOL. MULCH WITH BLACKS SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

**MAINTENANCE**

REFERTILIZE IF GROWTH IS NOT FULLY ADEQUATE. RESEED, RESEED, RESEED, RESEED, RESEED IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE.

**SPRING-SUMMER PERMANENT GRASSING DETAIL**

SEEDING MIXTURE	RATE (lb./acre)
PERMANENT GRASSING	120
PERMANENT GRASSING	120
PERMANENT GRASSING	120
PERMANENT GRASSING	120
PERMANENT GRASSING	120
PERMANENT GRASSING	120

**CONSTRUCTION SEQUENCE**

- NO CUT SLOPE OR FILL SLOPE SHALL EXCEED A RISE OR FALL OF ONE FOOT FOR EVERY RUN OF 3 FEET (1 VERTICAL TO 3 HORIZONTAL).
- NO SEDIMENT WILL BE ALLOWED TO EXIT THE SITE. ALL EROSION SHALL BE CONTROLLED INCLUDING SIDE SLOPES DURING AND AFTER CONSTRUCTION.
- INSTALL PRIMARY EROSION CONTROL MEASURES BEFORE BEGINNING CONSTRUCTION INCLUDING BUT NOT LIMITED TO GRAVELED CONSTRUCTION ENTRANCE, SILT FENCE, CHECK DAMS, ETC. INSTALL ALL SECONDARY EROSION CONTROL MEASURES AS SOON AS POSSIBLE AFTER BEGINNING CONSTRUCTION.
- ALL EROSION CONTROL MEASURES TO BE INSPECTED AFTER EACH RAIN. SILT FENCE AND INLET PROTECTION ARE TO BE CLEANED WHEN 0.5 FEET OF SEDIMENT HAVE ACCUMULATED IN FRONT OF THE DEVICE OR WHEN THEY LEAK OR FAIL. SEDIMENT TRAPS ARE CLEANED OUT AS STATED OR WHEN HALF FULL.
- IF APPLICABLE, CONSTRUCT PROPOSED RETENTION POND TO ACT AS A SEDIMENT BASIN DURING CONSTRUCTION. REMOVE ACCUMULATION OF SILT AS REQUIRED TO ALLOW PROPER FUNCTIONING. RESTORE POND TO DESIGN LEVELS AT THE COMPLETION OF CONSTRUCTION. 6. IF APPLICABLE, INSTALL DROP INLETS WITH INLET PROTECTION THAT ACT AS SILT TRAPS DURING CONSTRUCTION. REMOVE ACCUMULATED SILT AS NECESSARY TO PREVENT SILT FROM ENTERING STORM DRAIN PIPING.
- ALL AREAS OF TOPSOIL SHALL BE APPLIED TO ALL NEW AREAS TO BE GRADED.
- MAINTAIN ALL EROSION CONTROL MEASURES UNTIL PROJECT IS COMPLETE.
- MORE STRINGENT MEASURES MAY BE REQUIRED TO HALT EROSION IF THOSE ON THIS PLAN PROVE TO BE LESS EFFECTIVE.
- REMOVE ALL TEMPORARY EROSION CONTROL MEASURES UPON COMPLETION OF CONSTRUCTION. ALL PERMANENT MEASURES SHALL BE WELL ESTABLISHED PRIOR TO PROJECT COMPLETION.

**MAINTENANCE PLAN**

- ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF-PRODUCING RAINFALL, BUT IN NO CASE, LESS THAN ONCE EVERY WEEK AND WITHIN 24 HOURS OF EVERY HALF INCH RAINFALL.
- ALL POINTS OF EGRESS WILL HAVE CONSTRUCTION ENTRANCES THAT WILL BE PERIODICALLY TOP-DRESSED WITH AN ADDITIONAL 2 INCHES OF #4 STONE TO MAINTAIN PROPER DEPTH. IT WILL BE MAINTAINED IN A CONDITION TO PREVENT MUD OR SEDIMENT FROM LEAVING THE SITE.
- IMMEDIATELY REMOVE OBJECTIONABLE MATERIAL SPILLED, WASHED OR TRACKED ONTO THE CONSTRUCTION ENTRANCE OR ROADWAYS.
- SEDIMENT WILL BE REMOVED FROM HARDWARE CLOTH AND GRAVEL PROTECTION BLOCK AND GRAVEL INLET. ROCK DOUGHNUT INLET PROTECTION AND ROCK PIPE INLET PROTECTION WHEN THE DESIGNED STORAGE CAPACITY HAS BEEN HALF FILLED WITH SEDIMENT. ROCK WILL BE CLEANED OR REPLACED WHEN THE SEDIMENT POOL NO LONGER DRAINS OR IF THE ROCK IS DISLODGED. DEBRIS WILL BE REMOVED AND HARDWARE CLOTH TO ALLOW PROPER DRAINAGE. SILT SACKS WILL BE EMPLOYED ONCE A WEEK AND AFTER EVERY RAIN EVENT. SEDIMENT WILL BE REMOVED FROM AROUND BEAVER DAMS, DANDY SACKS AND SOCKS ONCE A WEEK AND AFTER EVERY RAIN EVENT. DIVERSION DITCHES WILL BE CLEANED OUT IMMEDIATELY TO REMOVE SEDIMENT OR OBSTRUCTIONS FROM THE FLOW AREA. THE DIVERSION RIDGES WILL ALSO BE REPAIRED.
- SEDIMENT WILL BE TEMPORARILY STABILIZED WITHIN 21 CALENDAR DAYS OF CEASE OF ANY PHASE OF ACTIVITY ASSOCIATED WITH A SWALE.
- SEDIMENT WILL BE REMOVED FROM BEHIND THE SEDIMENT FENCE WHEN IT BECOMES HALF FILLED. THE SEDIMENT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER. STAKES MUST BE STEEL. STAKE SPACING WILL BE 6 FEET MAX. WITH THE USE OF EXTRA STRENGTH FABRIC, WITHOUT WIRE BACKING. STAKE SPACING WILL BE 8 FEET MAX. WHEN STANDARD STRENGTH FABRIC AND WIRE BACKING ARE USED. IF ROCK FILTERS ARE DESIGNED AT LOW POINTS IN THE IN THE SEDIMENT FENCE THE ROCK WILL BE REPAIRED OR REPLACED IF IT BECOMES HALF FULL OF SEDIMENT, NO LONGER DRAINS AS DESIGNED OR IS DAMAGED.
- SEDIMENT WILL BE REMOVED FROM SEDIMENT TRAPS WHEN THE DESIGNED STORAGE CAPACITY HAS BEEN HALF FILLED WITH SEDIMENT. THE ROCK WILL BE CLEANED OR REPLACED WHEN THE SEDIMENT POOL NO LONGER DRAINS OR WHEN THE ROCK IS DISLODGED. BAFFLES WILL BE REPAIRED OR REPLACED WHEN THE SEDIMENT POOL NO LONGER DRAINS OR IF THE ROCK IS DISLODGED. BAFFLES WILL BE REPAIRED OR REPLACED IF THEY TEAR, DECOMPOSE OR BECOME INEFFECTIVE. THEY WILL BE REPLACED PROMPTLY. SEDIMENT WILL BE REMOVED WHEN DEPOSITS REACH HALF THE HEIGHT OF THE 1ST BAFFLE. FLOATING SKIMMERS WILL BE INSPECTED WEEKLY AND WILL BE KEPT CLEAN.
- SEDIMENT WILL BE REMOVED FROM THE SEDIMENT BASIN WHEN THE DESIGN STORAGE CAPACITY HAS BEEN HALF FILLED WITH SEDIMENT. ROCK WILL BE CLEANED OR REPLACED WHEN THE SEDIMENT POOL NO LONGER DRAINS OR IF THE ROCK IS DISLODGED. BAFFLES WILL BE REPAIRED OR REPLACED IF THEY TEAR, DECOMPOSE OR BECOME INEFFECTIVE. THEY WILL BE REPLACED PROMPTLY. SEDIMENT WILL BE REMOVED WHEN DEPOSITS REACH HALF THE HEIGHT OF THE 1ST BAFFLE. FLOATING SKIMMERS WILL BE INSPECTED WEEKLY AND WILL BE KEPT CLEAN.
- ALL SEEDED AREAS WILL BE FERTILIZED, RESEED AS NECESSARY, AND MULCHED ACCORDING TO THE GEOTECHNICAL REPORT. THE VEGETATION PLAN TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER. ALL AREAS SHALL BE STABILIZED WITHIN 21 CALENDAR DAYS. ALL OTHER AREAS WILL BE STABILIZED WITHIN 15 WORKING DAYS.
- FLOCCULATES WILL BE USED TO ADDRESS TURBIDITY ISSUES. THE PUMPS, TANKS, HOSES AND INJECTION SYSTEMS WILL BE CHECKED FOR PROBLEMS OR TURBID DISCHARGES DAILY.

**SITE POLLUTANTS NOTES**

- LOCATE AREAS DEDICATED FOR MANAGEMENT OF LAND CLEARING AND DEMOLITION DEBRIS, CONSTRUCTION AND DOMESTIC WASTE, AND HAZARDOUS OR TOXIC WASTE. THIS LOCATION SHALL BE AT LEAST 50' AWAY FROM STORM DRAIN INLETS AND SURFACE WATERS UNLESS IT CAN BE SHOWN THAT NO OTHER ALTERNATIVES ARE REASONABLY AVAILABLE.
- DUMPING OF PAINT OR OTHER LIQUID BUILDING MATERIAL WASTES IN STORM DRAINS IS PROHIBITED.
- LITTER AND SANITARY WASTE-THE PERMITEE SHALL CONTROL THE MANAGEMENT AND DISPOSAL OF LITTER AND SANITARY WASTE FROM THE SITE.
- LOCATE EARTHEN-MATERIAL STOCK PILE AREAS AT LEAST 50' AWAY FROM STORM DRAIN INLETS AND SURFACE WATERS UNLESS IT CAN BE SHOWN THAT NO OTHER ALTERNATIVES ARE REASONABLY AVAILABLE.
- CONCRETE MATERIALS ON-SITE, INCLUDING EXCESS CONCRETE, MUST BE CONTROLLED AND MANAGED TO AVOID CONTACT WITH SURFACE WATERS, WETLANDS OR BUFFERS. NO CONCRETE OR CEMENT SLURRY SHALL BE DISCHARGED FROM THE SITE.
- ANY HARDENED CONCRETE RESIDUE WILL BE DISPOSED OF, OR RECYCLED ON-SITE, IN ACCORDANCE WITH LOCAL AND STATE SOLID WASTE REGULATIONS.
- SOIL STABILIZATION SHALL BE ACHIEVED ON ANY AREA OF A SITE WHERE LAND-DISTURBING ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED ACCORDING TO THE FOLLOWING SCHEDULE:
  - ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1) SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 7 CALENDAR DAYS FROM THE LAST LAND DISTURBING ACTIVITY.
  - ALL OTHER DISTURBED AREAS SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 14 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY.
  - CONDITIONS-IN MEETING THE STABILIZATION REQUIREMENTS ABOVE, THE FOLLOWING CONDITIONS OR EXEMPTIONS SHALL APPLY:
    - EXTENSIONS OF TIME MAY BE APPROVED BY THE PERMITTING AUTHORITY BASED ON WEATHER OR OTHER SITE-SPECIFIC CONDITIONS THAT MAKE COMPLIANCE IMPRACTICABLE.
    - ALL SLOPES 50' IN LENGTH OR GREATER SHALL APPLY TO GROUND COVER WITHIN 7 DAYS EXCEPT WHEN THE SLOPE IS FLATTER THAN 4:1.
    - SLOPES LESS THAN 50' SHALL APPLY TO GROUND COVER WITHIN 14 DAYS EXCEPT WHEN SLOPES ARE STEEPER THAN 3:1. THE 7-DAY REQUIREMENT APPLIES.
    - ANY SLOPED AREA FLATTER THAN 4:1 SHALL BE EXEMPT FROM THE 7-DAY GROUND COVER REQUIREMENT.
    - SLOPES 10' OR LESS IN LENGTH SHALL BE EXEMPT FROM THE 7-DAY GROUND COVER REQUIREMENT EXCEPT WHEN THE SLOPE IS STEEPER THAN 2:1.
    - ALTHOUGH STABILIZATION IS USUALLY SPECIFIED AS GROUND COVER, OTHER METHODS, SUCH AS CHEMICAL STABILIZATION, MAY BE ALLOWED ON A CASE-BY-CASE BASIS.
    - FOR PORTIONS OF PROJECTS WITH THE SEDIMENT CONTROL COMMISSION-DEFINED "HIGH QUALITY WATER ZONE" (15A NCAAC O4A. 0105), STABILIZATION WITH GROUND COVER SHALL BE ACHIEVED AS SOON AS PRACTICABLE BUT IN ANY EVENT ON ALL AREAS OF THE SITE WITHIN 7 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACT.

**MAINTENANCE**

- CONCRETE WASHOUTS SHOULD BE INSPECTED DAILY AND AFTER HEAVY RAINS. DRAINAGE SHOULD BE REPAIRED PROMPTLY. FLOCCULATES SHOULD BE FILLED TO BE OVER 75% CAPACITY WITH RAIN WATER IT SHOULD BE WASHED OR ALLOWED TO EMPLOY TO AVOID OVERFLOWS. BEFORE HEAVY RAINS THE CONTAINERS LIQUID LEVEL SHOULD BE LOWERED OR THE CONTAINER COVERED TO AVOID AN OVERFLOW DURING RAINS. WHEN SOLIDS HAVE ACCUMULATED THEY SHOULD BE REMOVED AND RECYCLED.

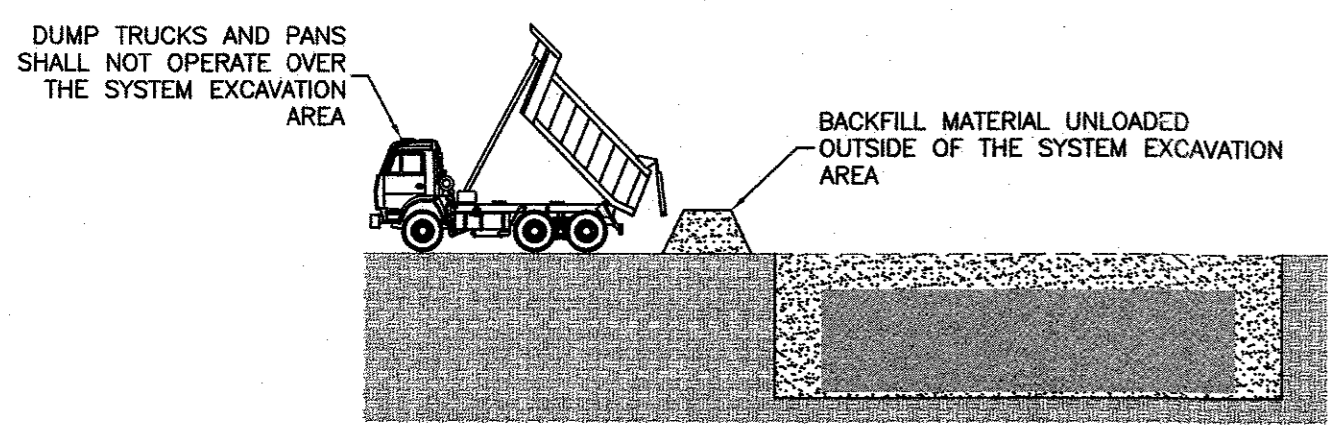
Approved Construction Plan  
Name \_\_\_\_\_ Date \_\_\_\_\_  
Planning \_\_\_\_\_ 01/09/19  
Traffic \_\_\_\_\_ 1/10/19  
Fire \_\_\_\_\_ 1/10/19

**CITY OF WILMINGTON**  
NORTH CAROLINA  
Public Works • Engineering Division  
APPROVED STORMWATER MANAGEMENT PLAN  
Date: 1/19/19 Permit #2018055  
Signed: *E. See*

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

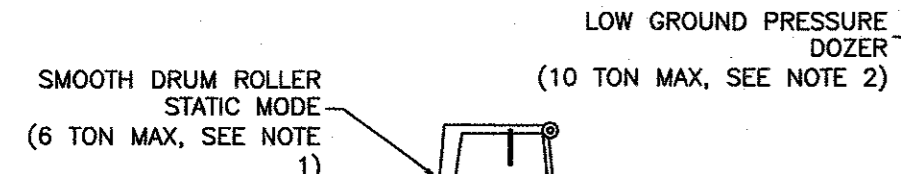
**CONCRETE WASHOUT DETAIL**  
NTS



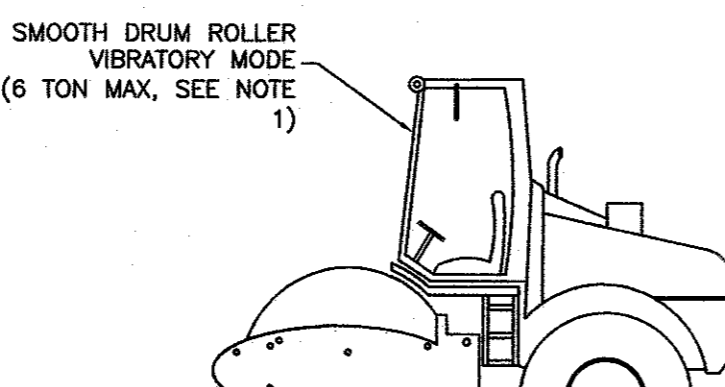
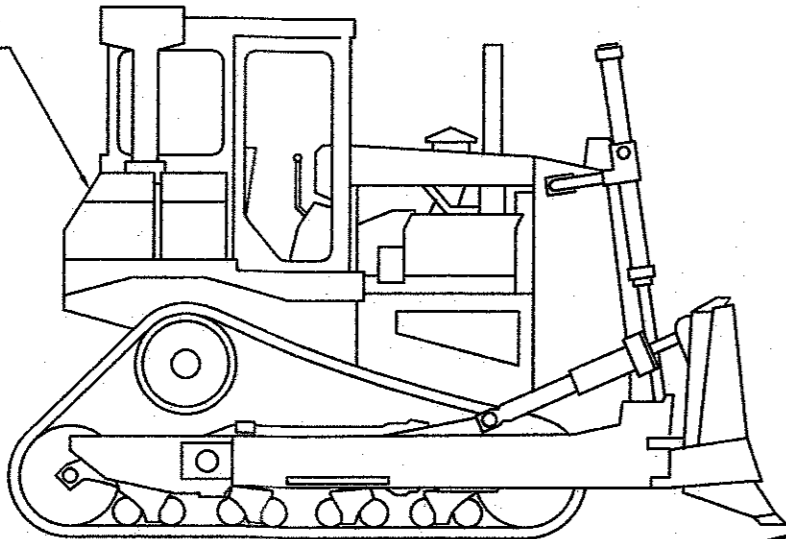


- NOTES:  
1. FOLLOWING PLACEMENT OF SIDE BACKFILL, A UNIFORM 12' LIFT OF THE FREELY DRAINING MATERIAL (SPEC SECTION 2.03 B) SHALL BE PLACED OVER THE R-TANK AND LIGHTLY COMPACTED USING A WALK-BEHIND TRENCH ROLLER. ALTERNATELY, A ROLLER (MAXIMUM GROSS VEHICLE WEIGHT OF 6 TONS) MAY BE USED. ROLLER MUST REMAIN IN STATIC MODE UNTIL A MINIMUM OF 24" OF COVER HAS BEEN PLACED OVER THE MODULES. SHEEP FOOT ROLLERS SHOULD NOT BE USED.  
SPEC SECTION 3.05 A  
2. ONLY LOW PRESSURE TIRE OR TRACK VEHICLES (LESS THAN 7 PSI AND OPERATING WEIGHT OF LESS THAN 20,000 LBS) SHALL BE OPERATED OVER THE R-TANK SYSTEM DURING CONSTRUCTION.  
SPEC SECTION 3.05 B  
3. DUMP TRUCKS AND PANS SHALL NOT BE OPERATED WITHIN THE R-TANK SYSTEM AT ANY TIME. WHERE NECESSARY, THE HEAVY EQUIPMENT SHOULD UNLOAD IN AN AREA ADJACENT TO THE R-TANK SYSTEM AND THE MATERIAL SHOULD BE MOVED OVER THE SYSTEM WITH TRACKED EQUIPMENT. SPEC SECTION 3.05 B  
4. ENSURE THAT ALL UNRELATED CONSTRUCTION TRAFFIC IS KEPT AWAY FROM THE LIMITS OF EXCAVATION UNTIL THE PROJECT IS COMPLETE AND FINAL SURFACE MATERIALS ARE IN PLACE. NO NON-INSTALLATION RELATED LOADING SHOULD BE ALLOWED OVER THE R-TANK SYSTEM UNTIL THE FINAL DESIGN SECTION HAS BEEN CONSTRUCTED (INCLUDING PAVEMENT). SPEC SECTION 3.05 C  
5. SEE R-TANK INSTALLATION GUIDE OR CONTACT YOUR LOCAL ACP REPRESENTATIVE FOR ADDITIONAL INFORMATION.

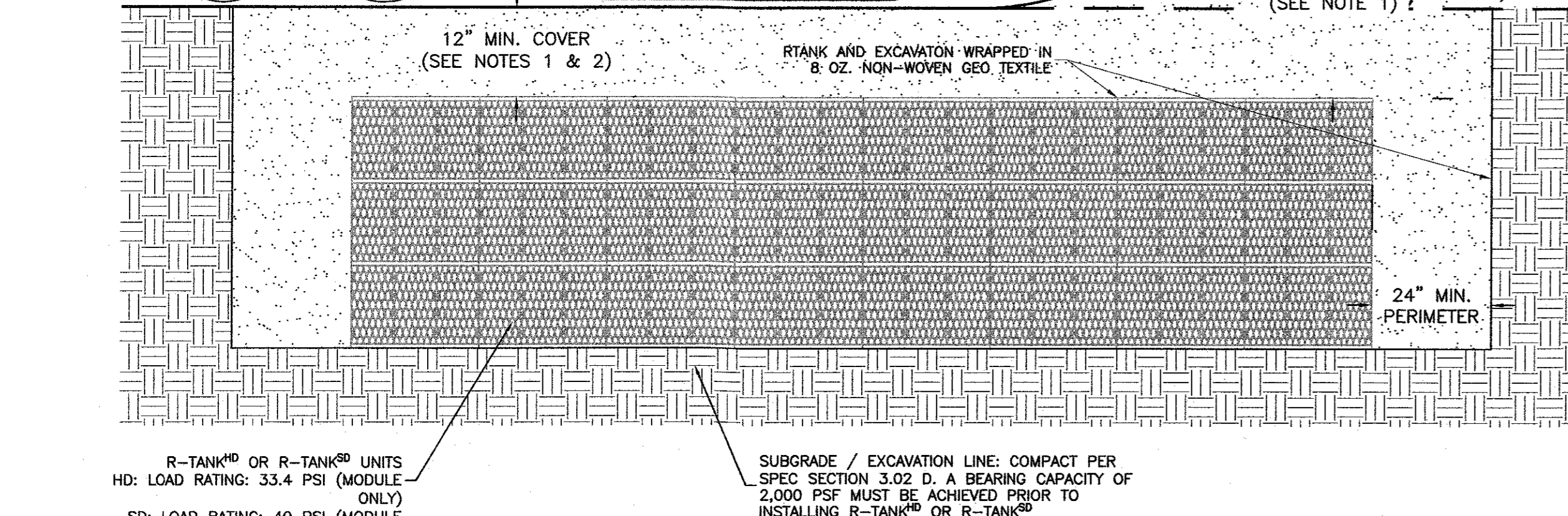
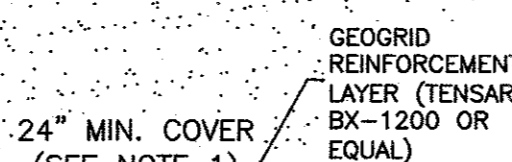
DUMP TRUCK DETAIL (SEE NOTE 3)



LOW GROUND PRESSURE DOZER (10 TON MAX, SEE NOTE 2)



SMOOTH DRUM ROLLER VIBRATORY MODE (6 TON MAX, SEE NOTE 1)

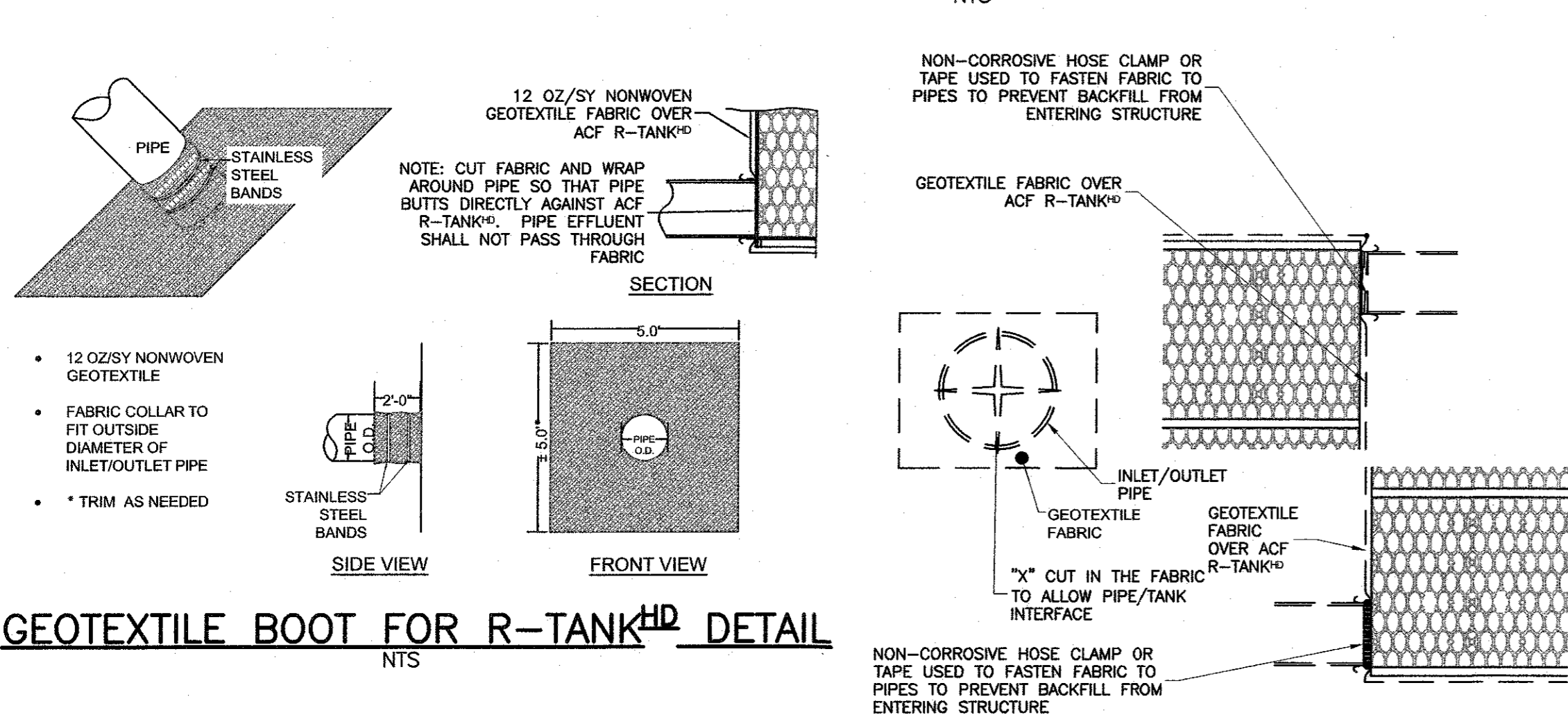


R-TANK HD OR R-TANK HD UNITS  
HD: LOAD RATING: 33.4 PSI (MODULE ONLY)  
SD: LOAD RATING: 40 PSI (MODULE ONLY)

SUBGRADE / EXCAVATION LINE: COMPACT PER SPEC SECTION 3.02 D. A BEARING CAPACITY OF 2,000 PSF MUST BE ACHIEVED PRIOR TO INSTALLING R-TANK HD OR R-TANK SD.

### R-TANK HD CONSTRUCTION EQUIPMENT COVER DETAIL

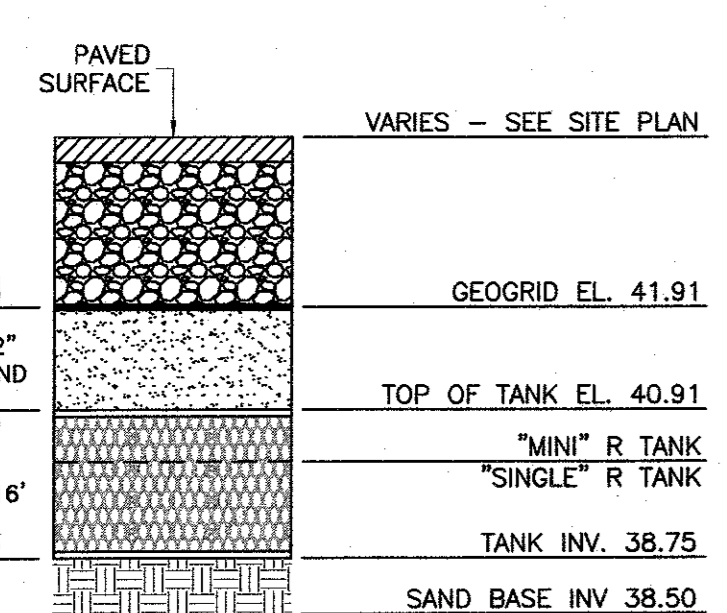
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### GEOTEXTILE BOOT FOR R-TANK HD DETAIL

### R-TANK HD TYPICAL TANK INLET/OUTLET DETAIL

NTS



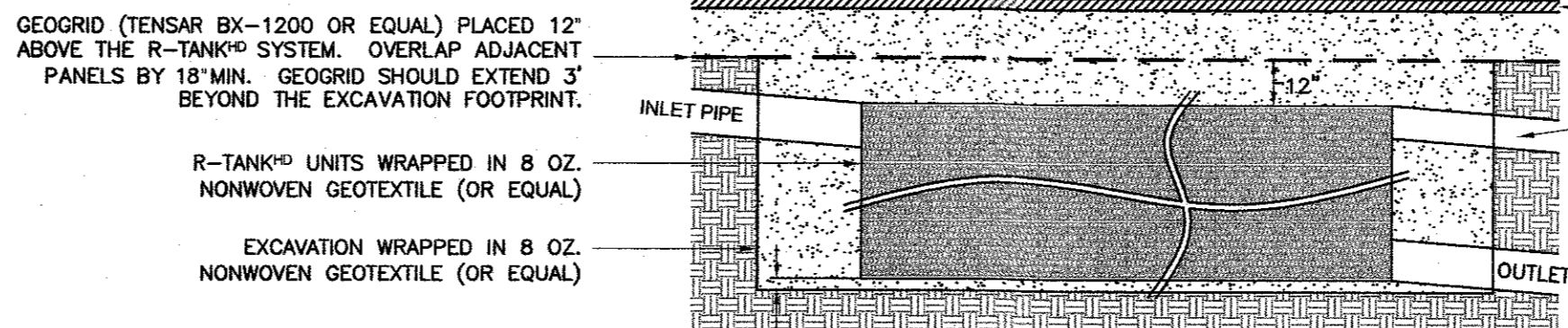
### SINGLE R-TANK HD ELEVATION

Approved Construction Plan

Name	Date
Planning Nicole Dymith	01/09/19
Traffic W. Schubert	1/0/19
Fire C. Habert	1/1/19

City of Wilmington, North Carolina  
Public Services • Engineering Division  
APPROVED STORMWATER MANAGEMENT PLAN  
Date: 1/9/19 Permit # 2018055  
Signed: *[Signature]*

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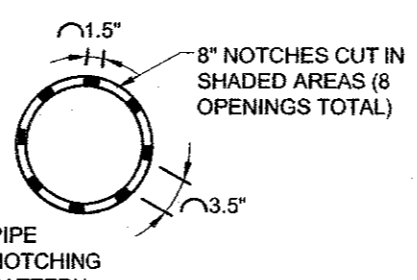
### R-TANK HD TANK WRAP & EXCAVATION LINER DETAIL

NTS

- NOTES  
• THIS PORT IS USED TO PUMP WATER INTO THE SYSTEM AND RE-SUSPEND ACCUMULATED SEDIMENT SO THAT IT MAY BE PUMPED OUT.  
• MINIMUM REQUIRED MAINTENANCE INCLUDES A QUARTERLY INSPECTION DURING THE FIRST YEAR OF OPERATION AND A YEARLY INSPECTION THEREAFTER. FLUSH AS NEEDED.  
• ONLY R-TANK HD AND R-TANK SD MAY BE USED IN TRAFFIC APPLICATIONS.

DEPTH SUMMARY

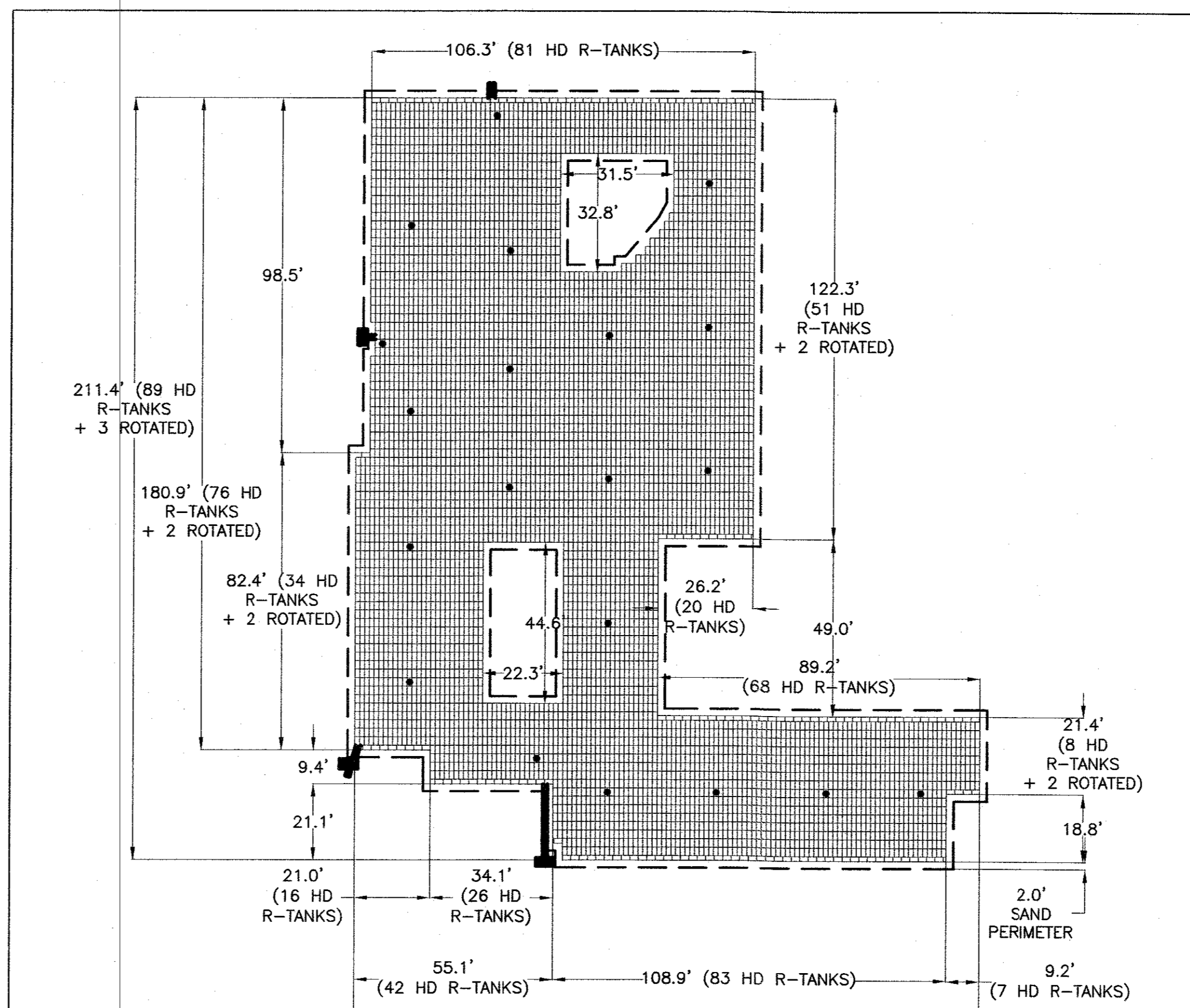
TYPE	A	B
R-TANK	12" MIN - 36" MAX	AS SHOWN ON PLANS
R-TANK SD	20" MIN - 6.99' MAX	12"
R-TANK HD	18" MIN - 9.99' MAX	12"



### R-TANK HD TYPICAL MAINTENANCE PORT DETAIL

NTS

END VIEW OF PIPE/FABRIC CONNECTION. CUT 'X' IN THE FABRIC SLIGHTLY LARGER THAN PIPE. PULL THE FABRIC AROUND THE PIPE TO CREATE THE 'BOOT' AND THEN SECURE WITH A HOSE-CLAMP.



### R-TANK HD SYSTEM No. 1 LAYOUT

1" = 30'

### PART 1 - GENERAL

- 1.01 Related Documents
- 1.02 Description of Work Included
- 1.03 Quality Control
- 1.04 Submittals
- 1.05 Delivery, Storage, and Handling
- 1.06 Preinstallation Conference
- 1.07 Project Conditions
- 2.01 R-Tank Units
- 2.02 Geotextiles
- 2.03 Backfill & Cover Materials
- 2.04 Other Materials
- 3.01 Assembly of R-Tank Units
- 3.02 Layout and Excavation
- 3.03 Preparation of Bases
- 3.04 Installation of the R-Tank
- 3.05 Backfilling of the R-Tank Units
- 4.01 Maintenance Requirements

REVISIONS

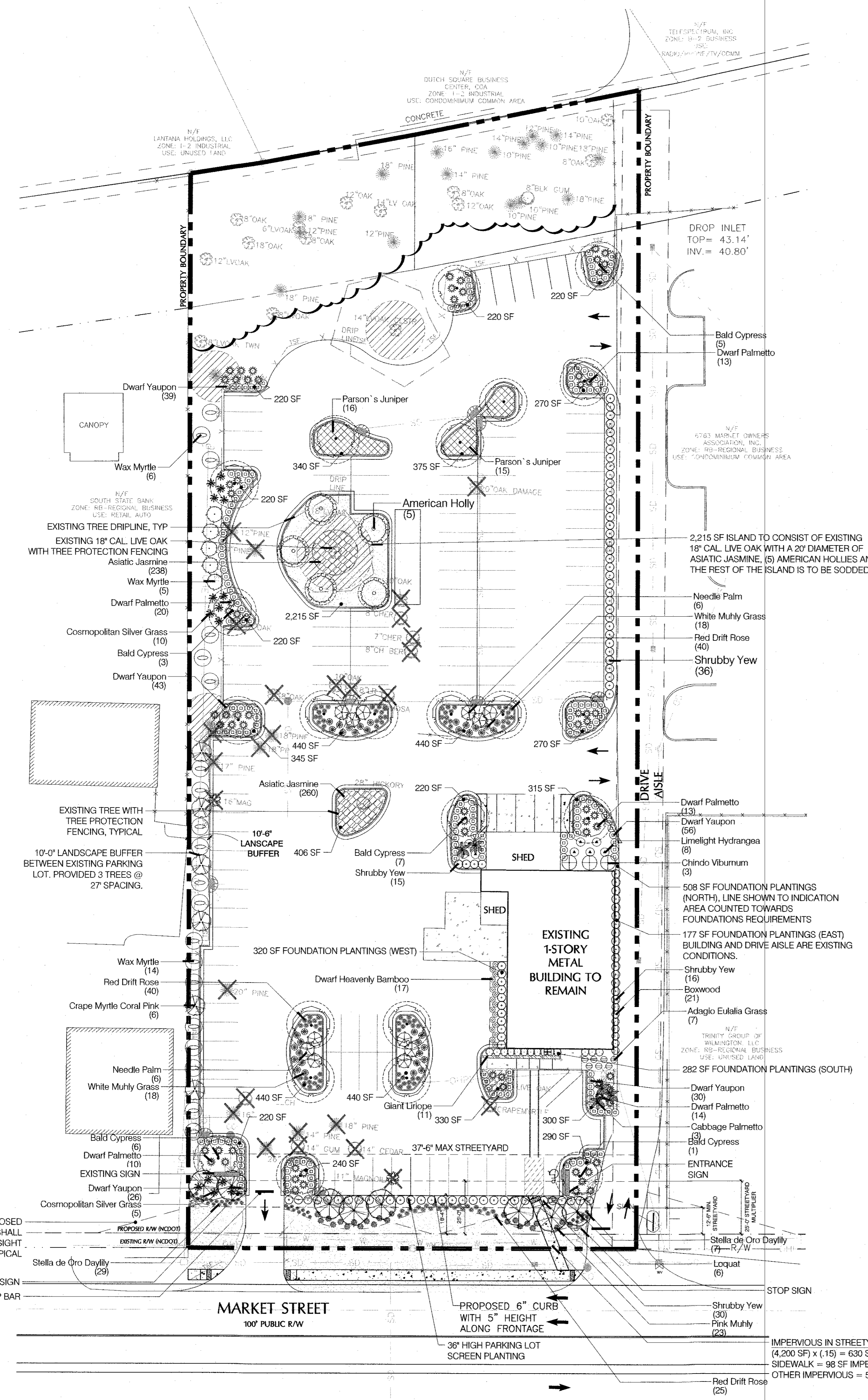
Date	Description	By
12-10-10	CITY SW COMMENTS	EJW

TRIPP ENGINEERING, P.C.  
419 Chestnut Street  
Wilmington, North Carolina 28401  
Phone 910-763-5100  
Fax 910-763-5631  
www.trippengineering.com

BLUWATER MOTORSPORTS  
OWNER: GPT INVESTMENTS, LLC  
ADDRESS: 6763-6767 MARKET ST., WILMINGTON, NC

DATE 12-06-18  
DESIGN PGT  
DRAWN EJW

C6  
SHEET 6 OF 6  
17041



**PLANT SCHEDULE**

TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	RANGE	QTY
	Eriobotrya japonica / Loquat	B & B	2" CAL	8' HT	8
	Ilex opaca / American Holly	B & B	2" CAL	10-12' HT	5
	Lagerstroemia x 'Tuscarora' / Crape Myrtle Coral Pink	B & B	2" CAL	8-10' HT	6
	Sabal palmetto / Cabbage Palmetto	B & B	2.5-3" CAL	8-12' H	5
	Taxodium distichum / Bald Cypress	B & B	3" CAL	8-10' HT	23
SHRUBS	BOTANICAL NAME / COMMON NAME	SIZE	RANGE	QTY	
	Buxus m. 'Wintergreen' / Boxwood	---	24" HT. MIN.	21	
	Hemerocallis x 'Stella de Oro' / Stella de Oro Daylily	1 gal	12-15" HT	36	
	Hydrangea p. 'LimeLight' TM / LimeLight Hydrangea	3 gal	18-24" HT	8	
	Ilex v. 'Nana' / Dwarf Yaupon	3 gal	12-15" HT	190	
	Miscanthus s. 'Adagio' / Adagio Eulalia Grass	3 gal	18-24" HT	7	
	Miscanthus s. 'Cosmopolitan' / Cosmopolitan Silver Grass	3 gal	24-30" HT	15	
	Muhlenbergia capillaris / Pink Muhly	3 gal	18-24" HT	23	
	Muhlenbergia capillaris 'White Cloud' / White Muhly Grass	3 gal	18-24" HT	36	
	Myrica cerifera / Wax Myrtle	25 gal	5-6" HT	5	
	Myrica cerifera / Wax Myrtle	3 gal	18-24" HT	20	
	Nandina domestica 'Harbour Dwarf' / Dwarf Heavenly Bamboo	3 gal	15-18" HT	17	
	Podocarpus macrophyllus maki / Shrubby Yew	7 gal	3-4" HT	97	
	Rhapidophyllum hystrix / Needle Palm	15 gal	3-4" HT	12	
	Rosa x 'Meigalpio' / Red Drift Rose	3 gal	12-15" HT	105	
	Sabal minor / Dwarf Palmetto	3 gal	18-24" HT	70	
	Viburnum a. 'Chindo' / Chindo Viburnum	15 gal	3-4" HT	3	
GROUND COVERS	BOTANICAL NAME / COMMON NAME	SIZE	RANGE	SPACING	QTY
	Juniperus davurica 'Parsoni' / Parson's Juniper	3 gal		60" o.c.	31
	Liriope gigantea / Giant Liriope	1 GAL	12-18" HT	24" o.c.	11
	Trachelospermum a. 'Asiatic' / Asiatic Jasmine	1 qt	6-12" HT	15" o.c.	498
SOD/SEED	BOTANICAL NAME / COMMON NAME	SIZE	RANGE	SPACING	QTY
	Zoysia japonica 'Empire' / Korean Grass	sod			

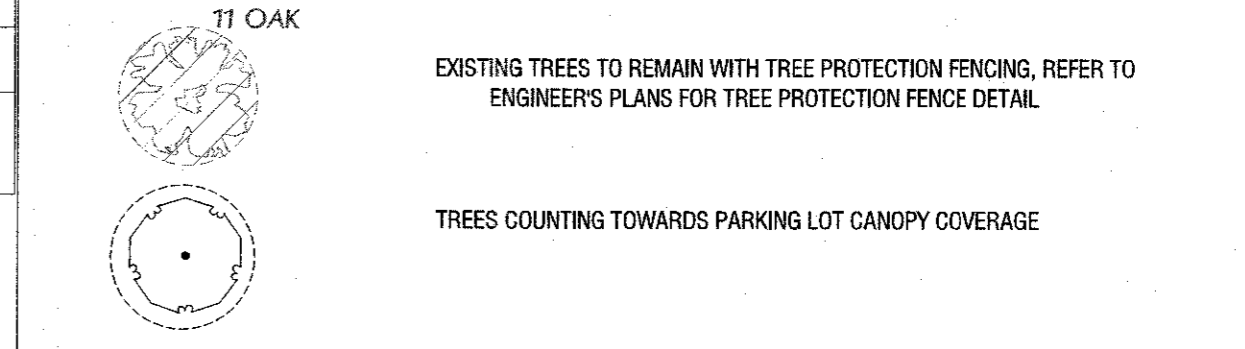
**SITE DATA**

PARCEL ID: R04320-001-006-000  
 R04320-001-007-000  
 CURRENT & PROPOSED ZONING: RB, REGIONAL BUSINESS  
 PROJECT ADDRESS: 6753 MARKET STREET  
 6757 MARKET STREET  
 111,580 SF (2.56 AC.)  
 PROPOSED USE: AUTOMOBILE DEALER

**LANDSCAPE REQUIREMENTS**

	REQUIRED	PROVIDED	
<b>PARKING LOT CANOPY COVERAGE</b> (71,980 SF X 20%)	14,396 SF 21 TREES	19,796 SF 28 TREES (707 SF)	
<b>STREET YARD PLANTING</b> PRIMARY STREET YARD MARKET STREET (212) - (20) - (24) = 168 LF			
TREES REQUIRED (4,200/600 SF)	4,200 SF (168 LF x 25) 7 (1/600 SF)	4,206 SF 8 PROPOSED TREES	
SHRUBS REQUIRED (4,200/600 SF)*6	42 (6/600 SF)	121 PROPOSED SHRUBS	
<b>FOUNDATION PLANTING</b>			
<b>SOUTH SIDE</b> (50 LF x 18 x .12)	108 SF	170 SF	
<b>NORTH SIDE</b> (63 LF x 18 x .12)	136 SF	492 SF	
<b>WEST SIDE</b> (84 LF x 18 x .12)	182 SF	320 SF	
<b>EAST SIDE</b> (84 LF x 18 x .12)	182 SF	177 SF	
<b>RETAINED TREE CREDITS:</b>			
QUANTITY	SIZE	TREE CREDITS	
6	6"	OAK 1	
1	8"	OAK 12	
1	10"	OAK 2	
3	12"	OAK 9	
2	14"	OAK 6	
2	18"	OAK 8	
1	26"	OAK 4	
1	8"	BLACK GUM 2	
1	26"	HICKORY 5	
4	10"	PINE 8	
5	12"	PINE 15	
3	14"	PINE 9	
1	18"	PINE 3	
5	18"	PINE 20	
<b>TOTAL</b>		<b>104 TREE CREDITS</b>	
<b>TREE MITIGATION REQUIREMENTS</b> REMOVED TREES TO BE MITIGATED			
QUANTITY	SIZE	COMMON NAME	% MITIGATION
1	8"	CHOKE CHERRY	25
1	8"	CHERRY	75
1	11"	MAG	100
1	16"	MAG	100
1	26"	PINE	100
		(8" x 25)(2) = 4	
		(8" x 75)(2) = 12	
		(53" x 1)(2) = 106	
		<b>122 2/3 = 41 TOTAL TREES</b>	
<b>TREE CREDITS TO BE USED TO MEET TREE MITIGATION REQUIREMENTS:</b>		<b>41 CREDITS</b>	
<b>TREE REQUIREMENTS PER DISTURBED ACRE</b> 15 TREES PER DISTURBED ACRE MUST BE RETAINED OR PLANTED ON SITE. 2.56 ACRES DISTURBED x 15 TREES = 39 TREES REQUIRED			
<b>REQUIRED:</b>		<b>104 EXISTING TREE CREDITS</b>	
<b>PROVIDED:</b>		<b>53 TREES PLANTED - REFER TO PLANTING LEGEND, THIS SHEET</b>	
<b>TOTAL:</b>		<b>157 TREES PROVIDED</b>	

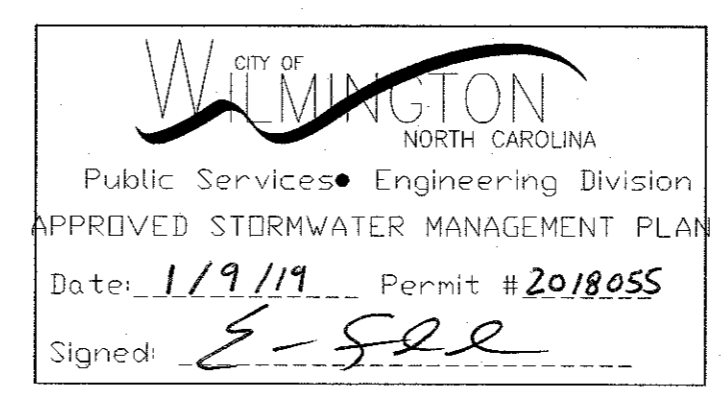
**SYMBOL LEGEND**



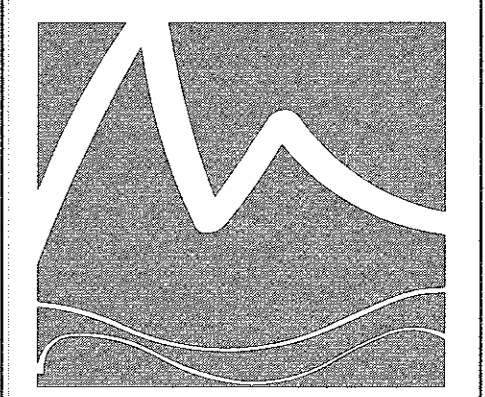
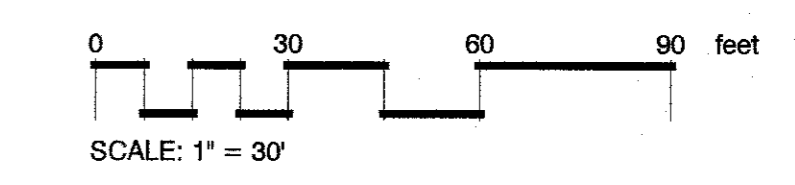
**GENERAL PLANTING NOTES**

- THIS WORK INCLUDES, BUT IS NOT LIMITED TO THE FURNISHING OF ALL LABOR, MATERIALS, EQUIPMENT, FINAL GRADING, SEEDING, SOIL AMENDMENTS, ETC., AS MAY BE REQUIRED FOR A COMPLETE INSTALLATION.
- QUANTITIES SHOWN IN PLANT LISTS ARE FOR CONVENIENCE ONLY. PLANS SHALL GOVERN.
- THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IN PLANT LOCATIONS OR INSUFFICIENT PLANT QUANTITIES DUE TO DIFFERENCES IN PLAN AND ACTUAL FIELD CONDITIONS.
- ALL TREE AND SHRUB MATERIAL SPECIFIED MUST MEET STANDARD INDUSTRY SPECIFICATIONS FOR THE CONTAINER SIZE INDICATED. DOWNSIZING OR SUBSTITUTION OF PLANT MATERIAL WITHOUT PRIOR APPROVAL OF LANDSCAPE ARCHITECT WILL NOT BE ALLOWED.
- ALL LANDSCAPE AREAS SHALL BE GRADED TO A SMOOTH EVEN SURFACE PRIOR TO ANY PLANT INSTALLATION. ALL PLANT MATERIALS SHALL BE INSTALLED USING GOOD HORTICULTURAL PRACTICES IN ACCORDANCE WITH THE PLANS AND DETAILS.
- TREES SHALL NOT BE PLANTED CLOSER THAN FOUR (4) FEET FROM ANY WALKWAY OR PUBLIC SIDEWALK EXCEPT WHERE TREE WELLS OR PARKWAYS ARE PROVIDED IN THE SIDEWALK AREA. ALL TREE PLANTED WITHIN FIVE (5) FEET OF WALKS OR PUBLIC UTILITIES SHALL RECEIVE DEEP ROOT BARRIERS.
- TREE LOCATIONS SHOWN ON PLAN MAY REQUIRE ADJUSTMENT IN THE FIELD, WHENEVER FEASIBLE. TREES SHOULD BE PLANTED A MINIMUM OF TEN (10) FEET FROM ALL UNDERGROUND UTILITIES, STREETLIGHTS, HYDRANTS, AND OUT OF DRAINAGE FLOW LINES. SHOULD THIS NOT BE POSSIBLE, CONTACT THE LANDSCAPE ARCHITECT FOR DECISION ON PLACEMENT.
- ALL TREES IN TURF AREAS SHALL HAVE 12" MIN. CLR. CIRCUMFERENCE AROUND THE TRUNK BASE. PROVIDE 2" MIN. THK. MULCH AT BASE OF TRUNK.
- GROUNDCOVER TYPE SHOWN SHALL BE PLANTED IN ALL SHRUB AREAS AS SPECIFIED ON PLANS. GROUNDCOVER SHALL BE PLANTED AT 8" ON-CENTER UNIFORM TRIANGULAR SPACING, AND SHALL BE CONTINUOUS UNDER ALL TREE AND SHRUB MASSES AS SHOWN ON PLAN.
- MATURE PLANTINGS SHALL NOT INTERFERE WITH UTILITIES AND TRAFFIC SIGHT LINES.
- ALL PLANTING AREAS SHALL BE MULCHED WITH PINESTRAW, EXCEPT FOR AREAS PLANTED WITH GROUNDCOVER. ALL AREAS PLANTED WITH GROUNDCOVER SHALL BE MULCHED WITH HARDWOOD MULCH.

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



**Approved Construction Plan**  
 Name: Erica D Smith Date: 01/09/19  
 Public Utilities: W. S. R. 1-10-19  
 Fire: C. W. 1/10/19



**MIHALY**  
 LAND DESIGN  
 PLANNING + LANDSCAPE ARCHITECTURE  
 330 MILITARY CUTOFF RD., Suite A3  
 WILMINGTON, NC 28405 910.392.4355



**Revisions**  
 2018-12-12: REVISE PLANTING PLAN PER COW COMMENTS  
 2018-12-20: REVISE PLANTING PLAN PER COW COMMENTS

**CLIENT**  
**GREGORY TARLTON**

**PROJECT**  
**BLUEWATER MOTORSPORTS**  
 6753 & 6757 MARKET STREET  
 WILMINGTON, NC  
 LANDSCAPE PLAN

Date: 2018-11-13  
 Phase:  
 Job Number: 101-410  
 Designed by: MLD  
 Drawn by: MAS  
 Checked by: JWM  
 Sheet Title: PLANTING PLAN

Sheet Number:  
**L1.0**  
 of 1 sheets